



Colden Common Parish Council
Parish Office
Colden Common Community Centre,
St Vigor Way, Colden Common,
Winchester, Hants, SO21 1UU

Project Design Brief / Specification

Tender 1

Colden Common

The Green

Skatepark Replacement

Tender 2

The Green – MUGA

(see separate tender documents)

Deadline for quotes to be received by NOON
Wednesday, 14th January 2026

Award planned for March 2026
Works starting from Wednesday, 1st April 2026
Works to be completed by Friday, 10th July 2026

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1.0 Introduction

Colden Common Skatepark is located at St Vigor Way, Colden Common SO21 1UU (see addendum 1 Location Maps). **What three words location ///wished.lazy.fades**

This is a key destination play space due to its position opposite the primary school and its proximity to key facilities, including the shop and Community Centre. A high-quality design is sought as reflected in the Tender Evaluation Criteria (see addendum 5)

The age of the equipment and surfacing is now such that a new scheme is required to bring it into line with current safety requirements and to enhance the general appearance of the location.

The purpose of this brief is to obtain **fixed price quotations and illustrated layouts** for the installation of new ramps for skateboards, inline skates, scooters, and bikes. Quotes should include

- Removal of existing ramps, benches, grind rails, youth shelter (everything in area b&c see location map on page 8)
- New retaining structure around the bank
- Supply and installation of new equipment and tarmac surfacing, if applicable

The area should be accessible to children of all abilities, from primary school through to early teens and adults, with equipment that allows for transition to more challenging areas.

2.0 Budget and retention

The **maximum** budget for this opportunity is £80,000 plus VAT. The council reserves the right to disqualify the tenderer from the process if a submitted fee exceeds the maximum budget.

The contract will include a provision to retain 2.5% of the total contract sum as a holdback against any defects for a 12-month defects liability period following the issue of the Certificate of Practical Completion.

An independent final inspection of the entire project will be conducted, which should be arranged and funded by the successful contractor to ensure that all work has been completed to an acceptable standard.

The council will pay the submitted contract fee (minus the retention as set out above) upon receipt of the independent inspection report.

3.0 Site Visit

A visit to the site to see the location, current equipment, and facilities firsthand, and assess general logistics, is a mandatory requirement before submitting a tender. A tenderer can be accompanied by a member of Colden Common Parish Council if desired by arranging a time for the visit.

The site is (see Addendum 1 – Location Maps): Skatepark, The Green, St Vigor Way, Colden Common, Winchester, Hants, SO21 1UU. Parking is available in the Community Centre Car Park.

What three words ///plus.could.dots

Contact: Debbie Harding

Email: clerk@coldencommon-pc.gov.uk

Tel: 07775 627131

4.0 General Aspirations

- To improve the usability of the skatepark with smaller ramps for the younger demographic.
- To provide benches and bins for those to watch. A youth shelter may or may not be provided, but this should be considered in the design if appropriate.
- Improved smoother surfaces which will stop puddles forming.
- Equipment: A range of equipment should be installed to cater to different age groups and abilities. The equipment should be durable and made from high-quality materials to withstand heavy use and exposure to the elements.
- The Council is particularly concerned about durability in relation to
 - Transition ramps
(these have been a significant safety issue in the past, requiring frequent adjustment and attention)
 - If ramp structures are to be installed, the frames must not be wooden
(In the past, screws becoming loose have been an issue)
- The suitability of the flood lighting needs to be assessed in any design and fully costed in the tender.

5.0 Requirement and specification

- Safety: The skatepark should be designed with safety as a top priority. This includes ensuring that all equipment meets current safety standards and that the area is designed to minimise the risk of accidents.
- Equipment should be spaced appropriately, as current standards dictate, and meet the following standards as a minimum
 - BS EN 14974:2019¹ (facilities for users of roller sports)
 - BS EN 1176^{2/77}³ (Playground equipment)
- The Council has no fixed opinion on the material of the ramp designs, i.e., concrete or other material, but wooden frames are not acceptable. Transition ramps (if used) must be robust, and details on these aspects must be explained in the tender documents.
- Measures to minimise the opportunity for instances of anti-social behaviour to occur must be clearly demonstrated in the design. These measures may include proposals relating to the orientation/layout of the ramps, the general design concept, or any other factor such as view for CCTV equipment.

Please note that the area north (adjacent to the Skatepark) will be refurbished as an MUGA (see separate tender documents). This refurbishment will ensure that the skatepark is fenced on the northern side as part of this specification; therefore, the risk of balls entering the skatepark does not need to be considered as part of the design.

- The scheme will require the complete removal of all current equipment, including posts/equipment in the ground, and tarmac surfacing (if applicable) will require quality refinishing.
- Addendum 1 includes a plan to illustrate the available area.
- The area is accessed equally by all age groups - Reception, Junior and Secondary, young adults, and adults.
- Making good and finishing the site to a high standard is essential. This must include but not be limited to:-
 - Finishing edges neatly and properly, as required.
 - Litter picking and clearing arisings and detritus that have either resulted from the work or other sources. See the specification in Addendum 4 for details.

¹ Facilities for users of roller sports equipment, primary legislation

² While not skatepark-specific, it applies to falls, zones, and surfacing

³ Impact attenuating playground surfacing – Shock absorption and critical fall height

- Leaving no unresolved areas – each part of the site within the contractor's boundary must be designed and finished to a high standard.
- Leaving the site in a well-finished, clean, and tidy condition.
- Materials that require disposal should be recycled, or if not possible, they must be disposed of in authorised facilities.
- The available funding is for capital build only. No extra funding has been secured for the maintenance of the equipment. Therefore, the contractor should consider the maintenance requirements of his proposals within their design long term.
- Specialist tools required for the maintenance of fixings must be provided for the client's use.
- An equipment inventory and specification must be provided.
- Equipment, diagrams, as built drawings and layouts must be provided.
- Manufacturers' operation details and maintenance schedules for each item of equipment must be provided.

The Contractor must arrange and pay for the skatepark to be inspected by RoSPA (and/or an appropriately accredited inspector) and any remedial works carried out by the contractor at the contractor's cost. The site must remain fenced off with safety fencing until this inspection has been completed and the report received.

The Council will conduct a final inspection of the entire project in conjunction with the contractor to ensure that all work has been completed to an acceptable standard.

6.0 Project brief

The aim is to provide a new skatepark that offers a safe and controlled environment for practising, learning, and improving skills. It must be easy to maintain. It should provide modern ramps, rails, and other features that facilitate various types of tricks and manoeuvres.

Equipment range

- Age range 3 – 6 years (20%)
- Age range 7 – 11 years (40%)
- Age range 12 – 16 years (20%)
- Age range 17 Plus (20%)
- **Maximum** budget of £80,000 plus VAT
- Please provide a plan as the scheme will go out to public consultation to consider residents' feedback before awarding the contractor.

Deadline for quotes to be received by NOON Wednesday, 14th January 2026

Award planned for March 2026, with works commencing from April 2026.

The tender process is being conducted in accordance with the following indicative timescale:

- Tender issued Thursday, 6th November 2025
- Closing date for clarification questions: Wednesday, 17th December 2025
- Closing date for submission of tender 12 noon Wednesday, 14th January 2026
- Award of the contract no later than Wednesday, 18th March 2026
- Project to start no earlier than Wednesday, 1st April 2026
- Project to finish no later than Friday, 10th July 2026

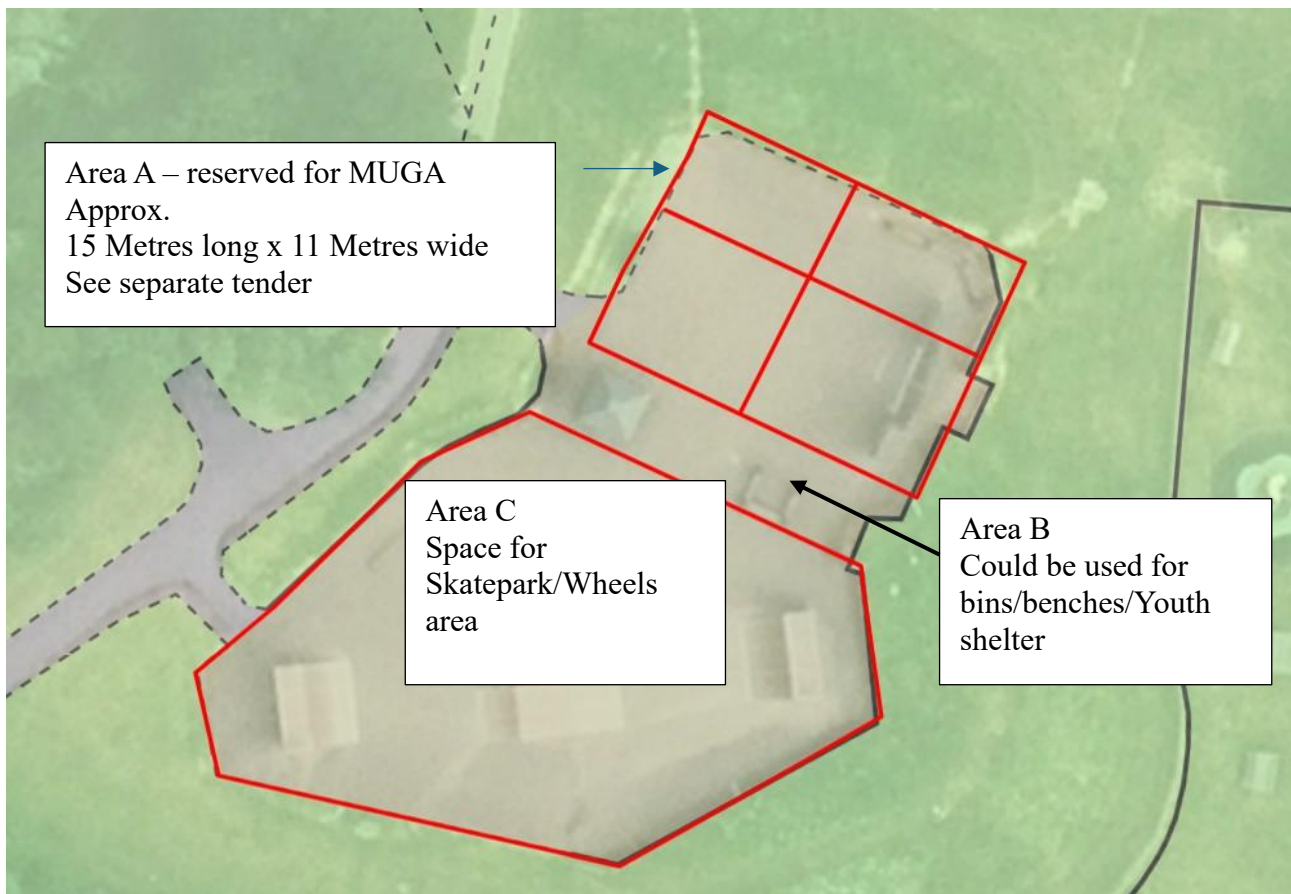
7.0 Addendum 1 – Location maps

Skatepark, The Green, St Vigor Way, Colden Common, Winchester, Hampshire, SO21 1UU.
What three words ///wished.lazy.fades

Skatepark location and available area (Area C, approx. 382 m²)

Area B is potentially available for use in design, either for the ramps or for the provision of a youth shelter, benches, and bins.

Area A is a separate facility for a MUGA – please refer to the separate tender.



8.0 Addendum 2 – Frequently asked questions and current equipment

Frequently asked questions

Q. Does the facility have access to employee welfare facilities?

A toilet is available in Colden Common Community Centre, a 2-minute walk from the site. A convenience store is adjacent to the Community Centre.

Q. Is there parking?

Parking is available in the Community Centre Car Park

Q. What facilities are there for a compound area?

A compound can be on-site and can be discussed on the award of the contract. It would be a requirement to make good any damage to grassed areas.

Q. What access is there for heavy-duty machinery?

An access road is available to the site from the Community Centre Car Park.

Q. How big is the area?

It is approx. 382m²

Q. What equipment is currently at the site

The current equipment is Rhino ramps, and it was installed in 2013

- 1.8 Quarterpipe
 - 1.8m H x 3.66m W x 3.24m L
- Spine/ Jumpbox combination
 - Large Streetspine 1.10m H x 2.44m W x 3.70m L
 - Flat Bank 0.82m H x 2.44m W x 2.10m L
 - Large funbox 0.82m H x 2.44m W x 2.44m L
 - Large Fly Wedge 0.82m H x 2.44m W x 1.62m L
- 1.5 Quarterpipe
 - 1.5m H x 3.66m W x 3.17m L

9.0 Addendum 3 – Statutory authority services.

Drawings on pages 9 and 10 are from statutory service providers but show approximate locations only. Other services may not have been captured; therefore, a site investigation by the appointed contractor will be required before work commences.



020m Dig Sites Area: Line:

Date Requested: 17/09/2025
Job Reference: 38740060
Site Location: 447794 122102
Requested by: Mrs Debbie Harding
Your Scheme/Reference: Skateboard Park

Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
	Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend

Service Cable

LV Mains

2-3.3kV

6.6kV

11kV

22kV

33kV

66kV

132kV

275kV

400kV

Fibre Optic

Pilot Cable

Distribution Structures [Electric]

Pole, Existing Location

Pole, Existing Location - Single

Pole, Existing Location - H

Duct Route

Cross Section Route

WARNING

There may have been subsequent alteration to the surface levels. Trial holes must be undertaken to determine position and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive - Avoiding Danger from Buried Cables - should be consulted before commencing excavation work.

WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)

N

E

S

W

Scottish & Southern
Electricity Networks

Southern Electric Power Distribution plc

Registered Office: No.1 Forbury Place
43 Forbury Road Reading RG1 3JH
Registered In England & Wales No.04094290

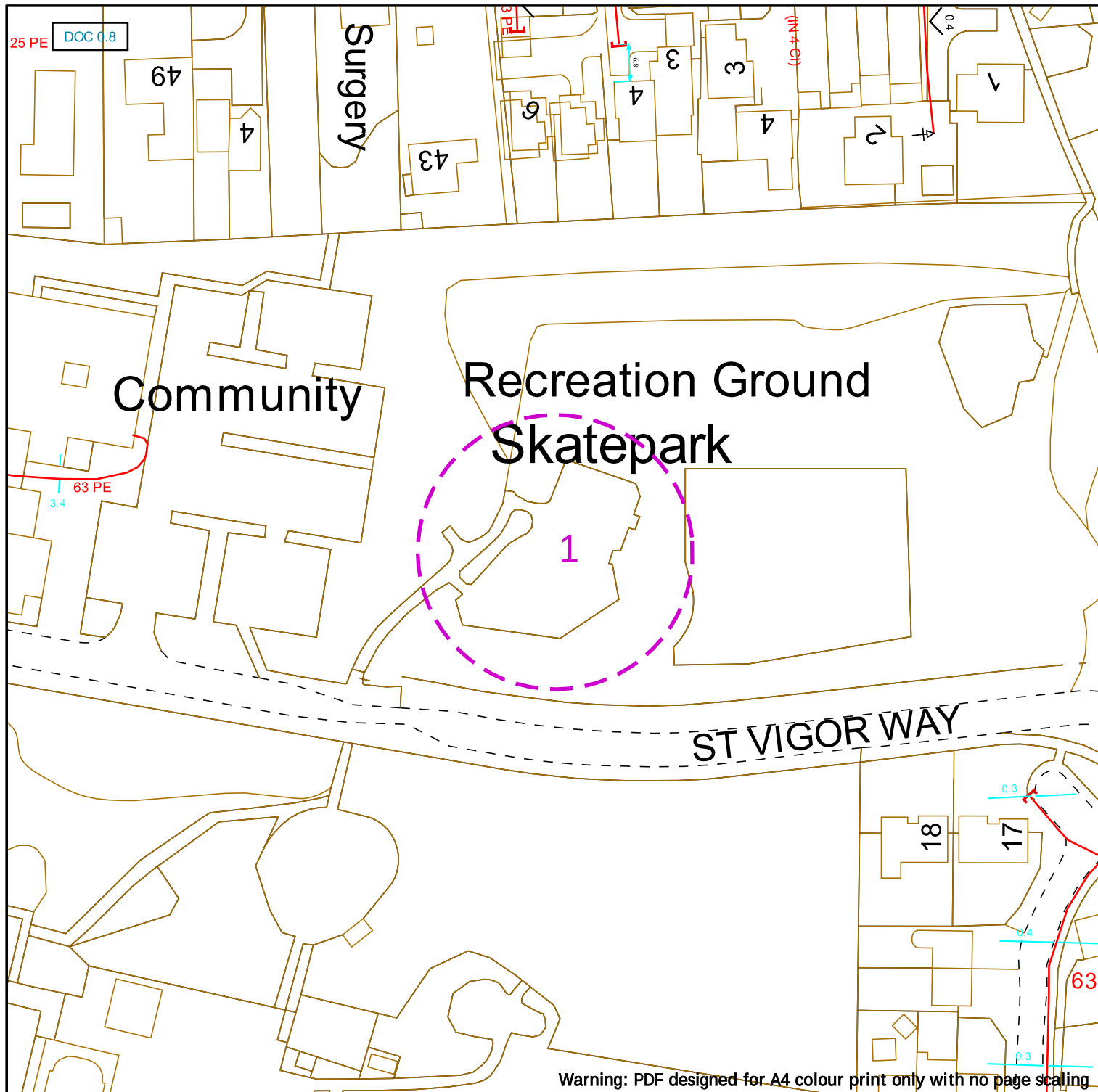
If you're unsure & need to seek advice before commencing excavations, please contact:
General Enquiries: 0800 048 3516

Subject to revision - Master held by SEN Asset Data Team:
Asset.Data@sse.com
01256 337 294

Scale: 1:500 (When plotted at A4)

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Based upon the Ordnance Survey map with the sanction of the Controller of H.M. Stationery Office Crown Copyright Reserved.
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Warning: PDF designed for A4 colour print only with no page scaling



Contact Us
SGN Safety Admin Team:
 0800 912 1722
Email:
 plantlocation@sgn.co.uk

Low Pressure Mains		Digsite:		
Medium Pressure Mains		Line:		
Intermediate Pressure Mains		Area:		
High Pressure Mains		LA5		
H100 Hydrogen Network		GTs		
Some Examples Of Plant Items		SSSIs		
Valve		Depth of Cover		
Syphon		Diameter Change		
		Material Change		



This information is given as a guide only and its accuracy cannot be guaranteed.



This plan shows the location of those pipes owned by Scotia Gas Networks (SGN) by virtue of being a licensed Gas Transporter (GT). Gas pipes owned by other GTs or third parties may also be present in this area but are not shown on this plan. Information with regard to such pipes should be obtained from the relevant owners. No warranties are given with regard to the accuracy of the information shown on this plan. Service pipes, valves, siphons, sub-connections etc. are not shown but their presence should be anticipated. You should be aware that a small percentage of our pipes/assets may be undergoing review and will temporarily be highlighted in yellow. If your proposed works are close to one of these pipes, you should contact the SGN Safety Admin Team on 0800 912 1722 for advice. No liability of any kind whatsoever is accepted by SGN or its agents, servants or sub-contractors for any error or omission contained herein. Safe digging practices, in accordance with HS (G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that plant location information is provided to all persons (whether direct labour or sub-contractors) working for you on or near gas apparatus. Information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Report damage immediately – KEEP EVERYONE AWAY FROM THE AREA
0800 111 999

10.0 Addendum 4. –Minimum specification requirements and standards (Landscaping, safety, surfacing, litter bins, signage & benches)

The following are minimum specifications and guideline references, but construction is not limited to these.

Specifications for common landscape works in and around the skatepark – minimum requirements expected:

Code of good practice for skatepark (ROSPA) siting

- The skatepark design shall be suitable for its purpose.
- Any surrounding features which are likely to constitute a danger to children using the skatepark shall be removed or protected by appropriate safety measures.

Design

- The design of the skatepark shall comply with British Standard Institution (2019) BSEN14974:2019 skateparks.
- The design of the area shall be generally appropriate for the anticipated age ranges of the users.

Equipment

- New equipment used shall conform to EN 1176.
- The equipment design shall be appropriate for the anticipated age ranges of the users.
- The manufacturer or supplier shall provide written confirmation of Standard compliance where relevant.

Surfacing

- Appropriate surfaces shall be provided. Where a protective surface is provided it shall have been tested in accordance with BS 7188 and EN 1177.
- Surfacing shall be laid in the areas recommended by EN 1176 as being appropriate. Items covered by any other standard shall have protective surfaces to standards not less than EN 1176.
- The manufacturer or designer shall provide a test certificate from a recognised test house.

Installation

- The installer shall provide written confirmation that the equipment has been installed in accordance with the manufacturer or designer's instructions and to the relevant Standard where appropriate.
- A post-installation inspection shall be carried out by RoSPA or other appropriate body.

Ancillary items

- A range of appropriate ancillary items, such as seats and litter bins suitable for the intended use, shall be provided as required, and their positioning and construction shall generally comply with EN 1176.

Signs

- A risk assessment shall be carried out on the site.
- Signs indicating ownership, appropriate age range limitations and other management requirements shall be clearly displayed, preferably in pictographic form.

Finishing

- Any areas around the site used for compounds, access and storage shall be made good and restored to the original finish.
- Litter picking and clearing all arisings and detritus that resulted from the works or other sources must be completed prior to handover.

11.0 Addendum 5 – Tender evaluation

CATEGORY SCORING CRITERIA

0	Fails to meet the minimum requirements.
1	Basic compliance only
2	Generally, of a good standard with some reservations.
3	Good standard
4	High standard but falls just short of A.
5	Very high standard with no reservations at all about acceptability.

EVALUATION MODEL (WITH WEIGHTINGS)

EVALUATION CATEGORY	CATEGORY WEIGHTING (A)	MARKS AWARDED (B)	WEIGHTED MARKS (C) (AxB=C)
Design / play value	30%		
Quality / Specification	30%		
Approach / Delivery	10%		
Warranty / Guarantee	10%		
Residents' preferred design	10%		
Cost	10%		

Cost will be scored with the lowest tender receiving the most points and the highest receiving the fewest points.
The contractor must provide a detailed design with illustrations demonstrating the best use of the space within the desired budget.

Evaluation category	Evaluation
Design / Play value 30%	The tenderer shall demonstrate regard for the project specification in the design.
The contractor must provide a detailed design with illustrations demonstrating the best use of the space within the desired budget.	

Evaluation category	Evaluation
Quality / Specification 30%	The tenderer shall provide a method statement demonstrating knowledge of building materials, their relative costs, and their lifespans.
The Council is seeking evidence that the tenderer understands the Council's expectations for build quality within the budget. The quality of proposed construction methods must be provided and compared with the existing facilities that are to be removed. The statement should detail materials and methodologies chosen, which will result in a build quality that is durable with limited ongoing maintenance requirements.	

Evaluation category	Evaluation
Approach / Delivery 10%	The tenderer shall provide a method statement detailing how it would plan, manage and deliver the project.
The Council is seeking evidence of the tenderer's previous experience in managing and delivering projects of a similar nature, as well as how that experience will be applied during the delivery of this project. Evidence of at least two other similar schemes should be included⁴, along with references that can be considered as part of the evaluation.	

Evaluation category	Evaluation
Warranty/ Guarantee 10%	The tenderer should detail any warranties and guarantees
The company should clearly list which parts of the build are subject to a guarantee and for how long. Details of the expected life span should be included, and any relevant details in relation to future repair and maintenance in the event of vandalism or wear and tear.	

⁴ Within travelling distance of Colden Common preferred so sites can be visited.

Evaluation category	Evaluation
Residents preferred design 10%	The tenderer should provide the design in PDF form to be printed by the Council.
Designs will be printed and included as part of a resident survey, allowing residents to vote for their preferred design. Explanations of the design and features may also be included.	

Evaluation category	Evaluation
Cost / Value for money 10%	Tenderers must not exceed the budget given of £80,000 plus VAT.
The tenderer must provide details of the costs involved and demonstrate how the design they have presented can be delivered within the budget, including all aspects detailed in the specification. If the tenderer is offering any discounts or services free of charge, these must be highlighted.	