Twyford Parish Council
The Pavilion
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SO21 1QS

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Extension of Parish Hall Car Park for Twyford Parish Council

1. Brief

Twyford Parish Council (TPC) are acquiring land for an extension to the village hall car park, as shown on the attached plan. TPC wish to lay out this land for car parking which will appear as extension to the adjacent Parish Hall car park. Access from the highway will be via the Parish Hall car park

TPC wish to secure the services of a suitably qualified and experienced engineer to:

A. design the scheme.
B. secure planning consent.
C. provide technical assistance during the procurement process to appoint a contractor. To that end the council would run the procurement process but would require assistance in validating the submitted tenders against the agreed specification of works.
D. provide technical assistance during the build process. This would entail advising the council's contract administrator that the works have been completed in accordance with contract specification allowing the contract administrator to sign them off.
E. To act as the Principal Designer under CDM regulations, if required.

2. Existing state of land

The land is currently part of a housing development site, owned by Alfred Homes and being laid out as the contractor's compound. At the completion of the building contract the compound will be vacated and the land handed over by Alfred Homes to Twyford Parish Council.

The land has been extensively engineered as par to the construction process and its natural levels raised . Beneath a part of this compound is the SUDS structure composed of cellular crates. This is wholly for the benefit of Alfred Homes housing and will continue to be a vital part of the housing development, with the car park on top of it.

Alfred Homes have obtained planning consent in the normal way for all of their works. Detailed plans are on the website and copies of as-built plans will be supplied as required. Alfred's plans themselves are based on the Twyford Neighbourhood Plan allocation which establish the use of the land for parking.

The use as a compound involves a load bearing surface and this will be handed over to the Parish Council.

3. Proposals

a. Layout for approximately 38 cars, with lighting, EV charging, landscaping etc.
b. Surface water SUDS as required
c. Access via Parish Hall car park, with improvements to junction with Hazely Road if required
d. Making good to Parish Hall car park

4. Technical matters

4.1. The levels. These are partly determined by the SUDS structure already constructed. It appears that the slopes may be more than best practice for car parking so the land closer to the Hazeley Road may need raising.

4.2. SUDS. The car park itself will need its own surface water scheme. Provision, beneath the compound, has been made in the design of Alfred's layout for an additional cellular crate based system for TPC's car park, but alternative methods of satisfying SUDS requirements may be proposed. A connection to the existing surface water drains is available.

4.3. The surfacing. A bearing surface is being established for the compound. A suitable finish for the car park will be required.

4.4. Access. Access is to be from the existing car park and a right of access is currently being secured. In constructing this access some spaces from the existing car park will be lost. There is a change of levels between the existing car park and extension. The highway authority may require an upgrade of the existing entrance

4.5. The layout. A sketch layout for 36 additional spaces is attached and is currently TPC's preferred solution. The sketch was prepared before the final delineation of the land to be transferred to TPC, so will need to be checked.

4.6. Electricity provision - Lighting, EV charging, ticketing. Lighting will be required. No decision has been taken on charging points or ticket machines, however an adequate power supply will be required in case they prove to be necessary.

4.7. Landscaping. Landscaping will be required but it is limited by existing structures. Alfred Homes have a detailed landscaping scheme for their own site. The advice of Alfred's landscape consultants may be beneficial.

5. Procedures

The scheme for the car park extension will require planning consent. It will also need agreeing with Alfred to ensure that their SUDS is not compromised and also with the Parish Hall Committee. The Planning process will indicate the Highway Authority's requirements, if any.

The principle of the use has been set by the Twyford Neighbourhood Plan 2022 and, in further detail, by the Alfred housing application

Public consultation will be secured through the planning procedures but the Parish Council may decide to consult independently. The layout plan will also form the basis for quotes.

Once consent has been granted, the scheme will be put out to tender.

TPC will wish to proceed with construction as soon as possible.

6. Time scale

Alfred expects handing over the land in February 2027. The 18-month period between now and then is quite short so a speedy turn round is essential.

Time estimates for the project up to the submission of the planning consent should be supplied with the fee proposal.

7. Quotation

A fixed fee is required

Fee quotations should be identified for each of the of stages A, B, C , D as identified in the section 1 Brief.

Drawings

Drawing A – Location Overview

Drawing B – Sketch of suggested car park layout

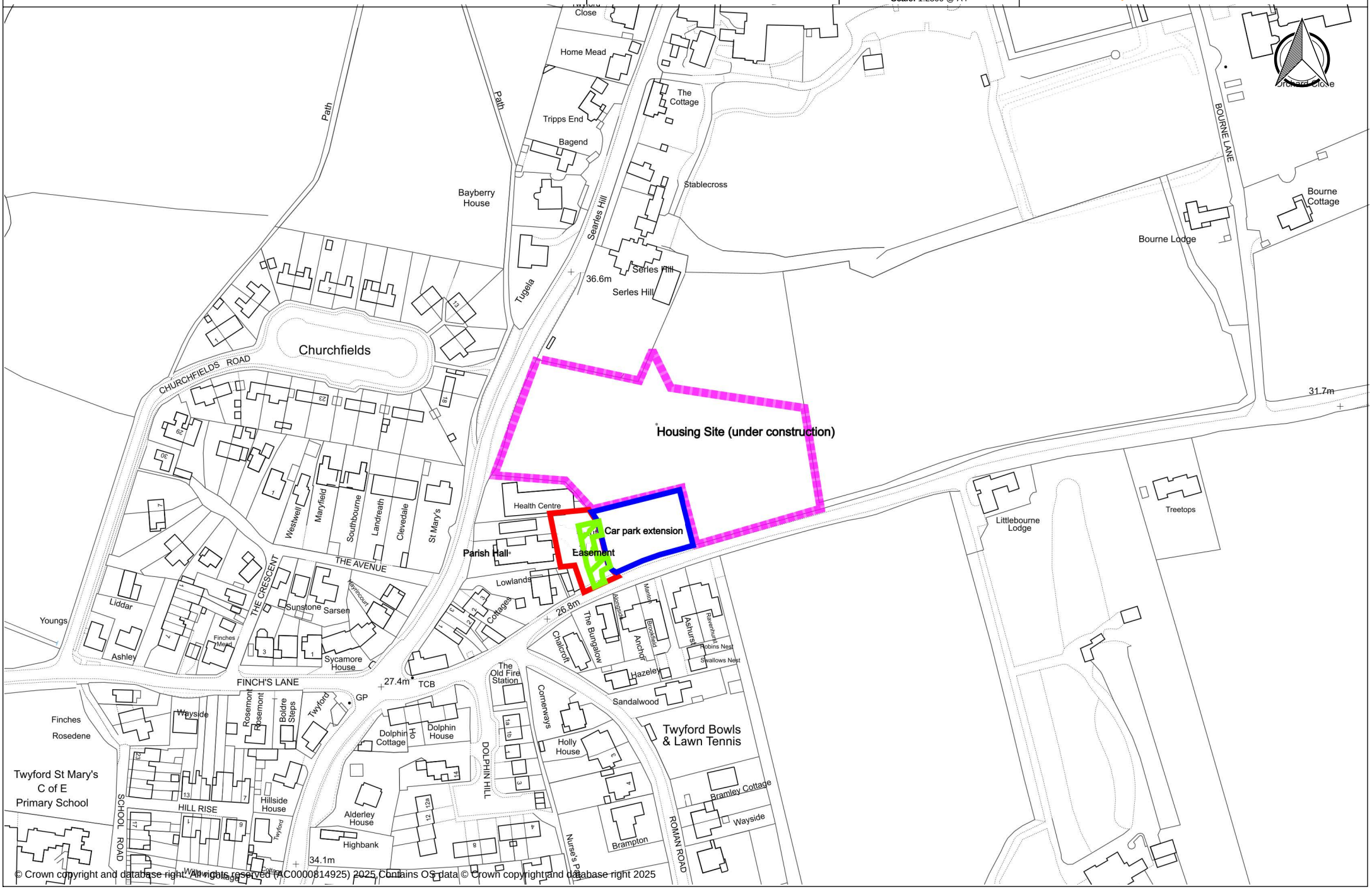
Drawing C – Area of car park land to be transferred

Drawing D – Topographic Survey of site (prior to Alfred construction works)

Drawing E – Site Layout & Drainage

Twyford Parish Council	Twyford	**Center:** 448285.38, 124701.76
Hazeley Road, extension of car park - SO21 1QY	**Author:** J. Matthews	0 20 40 60 80m
	Date: 04/09/2025	**Scale:** 1:2500 @ A4

PARISH ONLINE



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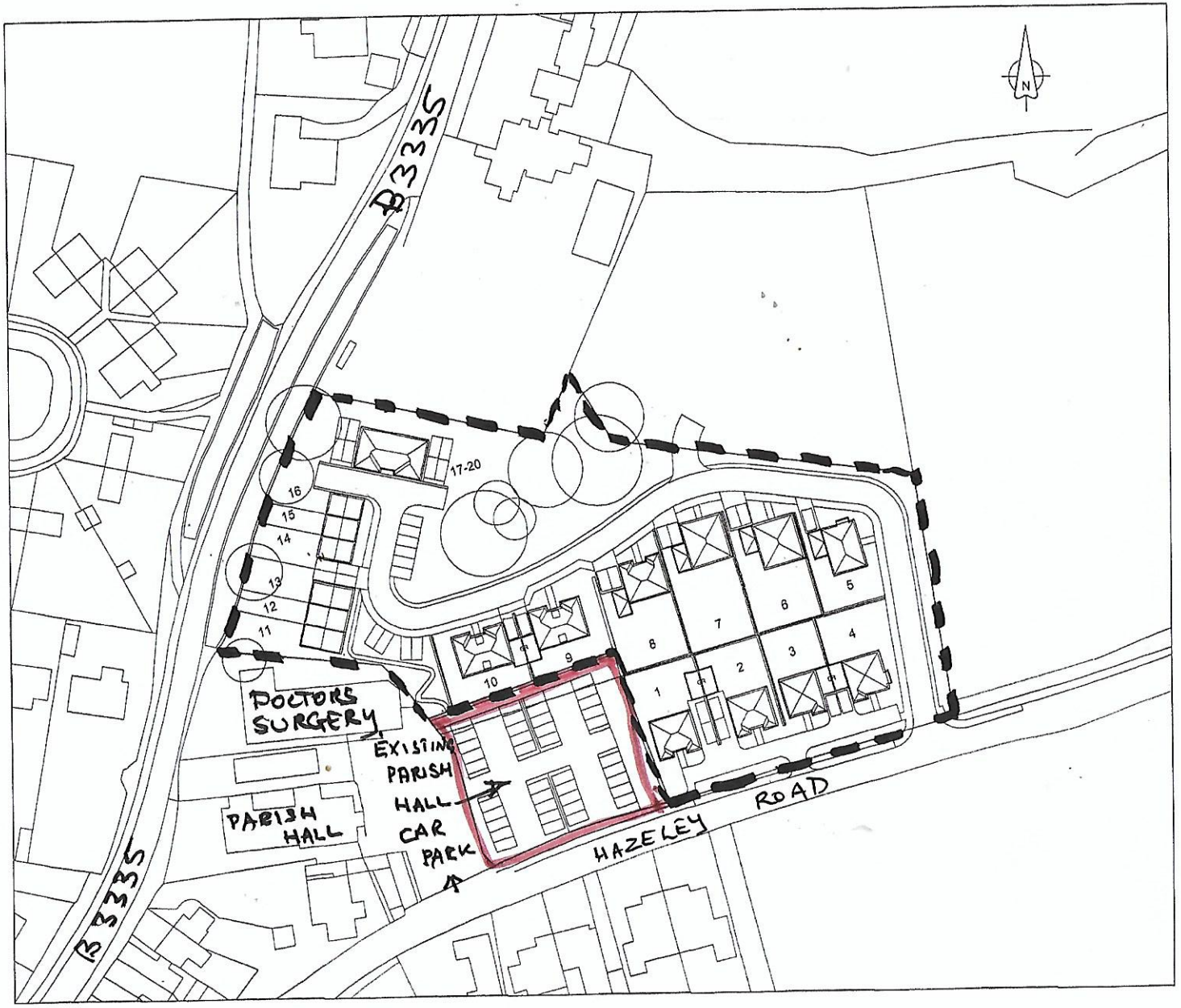
A3



NOTES

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REV	DESCRIPTION	DATE	AUTH	CHK'D

ALFRED Housing SITE (under Construction)

Proposed Car Park Extension

Access.

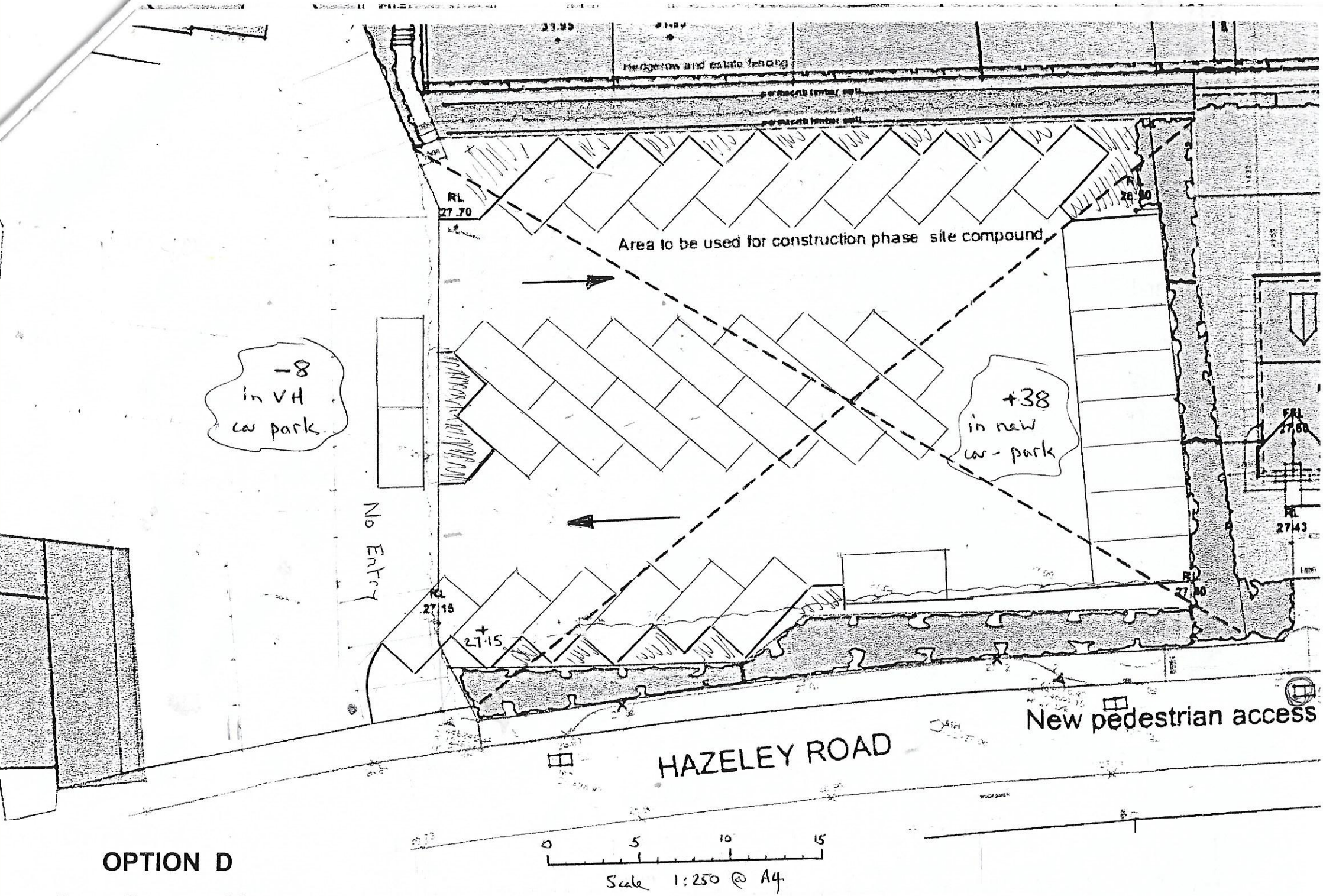
64 Parchment Street, Winchester, Hampshire. SO23 8AT
tel: 01628 334900 www.alfredhomes.co.uk

PROJECT
HAZELEY ROAD
TWYFORD
HAMPSHIRE SO21 1QY

DRAWING
SITE PLAN [redacted]E

SCALE	DATE	AUTHOR	CHK'D
1:1000 @ A3	January 24	OC	

JOB NO.	DRAWING NO.	REV
TWY	TWY-00-	



OPTION D

Overall net + 30 spaces

No	Date	Revision Notes
B	09/10/2024	Area and dimensions added
A	09/10/2024	Minor amendments

ALFRED HOMES

64 Parchment Street, Winchester, Hampshire, SO23 8AT

Tel: 01628 534900 www.alfredhomes.co.uk

Project No.
1059

Scale
1:1250 @ A3

Project
HAZELEY ROAD
TWYFORD
HAMPSHIRE

Drawn
AB

Date
OCT '24

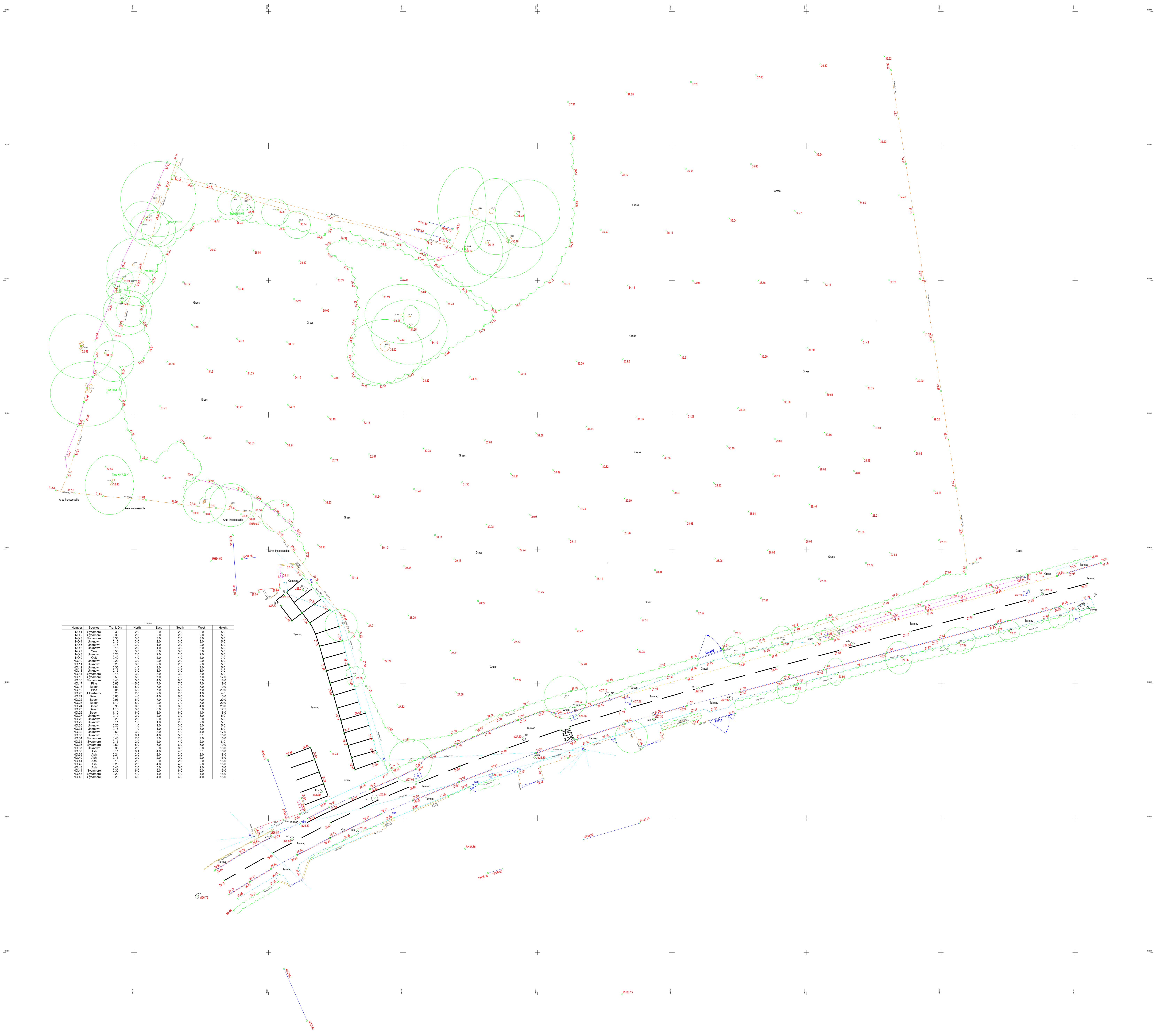
Drawing
TRANSFER PLAN 01

Status
CONVEYANCE

Drawing No.
1059_TP01

Revision
B

Only to be scaled from for planning and land registry purposes. All figured dimensions are millimetres unless otherwise stated. Contractors must verify all dimensions before starting work and any discrepancies are to be reported to Alfred Homes Ltd. © This drawing is the property of Alfred Homes Ltd. Copyright is reserved by them and is issued on the condition that it is not copied or disclosed by or to any unauthorised persons without the prior consent in writing by Alfred Homes Ltd.



Trees

Number	Species	Trunk Dia	North	East	South	West	Height
NO.1	Sycamore	0.30	2.0	2.0	2.0	2.0	5.0
NO.2	Sycamore	0.30	2.0	2.0	2.0	2.0	5.0
NO.3	Sycamore	0.30	3.0	3.0	2.0	3.0	5.0
NO.4	Unknown	0.15	3.0	2.0	3.0	3.0	5.0
NO.5	Unknown	0.15	3.0	1.0	2.0	2.0	5.0
NO.6	Unknown	0.15	2.0	1.0	3.0	3.0	5.0
NO.7	Yew	0.50	3.0	3.0	3.0	3.0	5.0
NO.8	Unknown	0.20	2.0	2.0	2.0	2.0	5.0
NO.9	Oak	0.40	4.0	4.0	4.0	4.0	7.0
NO.10	Unknown	0.20	3.0	2.0	2.0	2.0	5.0
NO.11	Unknown	0.20	3.0	2.0	2.0	2.0	5.0
NO.12	Unknown	0.30	4.0	4.0	4.0	4.0	5.0
NO.13	Unknown	0.15	3.0	3.0	3.0	3.0	3.0
NO.14	Sycamore	0.15	3.0	3.0	3.0	3.0	5.0
NO.15	Sycamore	0.50	5.0	7.0	7.0	7.0	17.0
NO.16	Sycamore	0.40	5.0	4.0	6.0	5.0	18.0
NO.17	Pine	0.65	5.0	7.0	7.0	7.0	19.0
NO.18	Beech	1.80	5.0	7.0	7.0	7.0	19.0
NO.19	Pine	0.95	6.0	7.0	5.0	7.0	20.0
NO.20	Elderberry	0.20	2.0	2.0	2.0	1.0	4.0
NO.21	Beech	0.60	4.0	4.0	6.0	4.0	10.0
NO.22	Beech	0.95	6.0	7.0	7.0	7.0	20.0
NO.23	Beech	1.10	8.0	2.0	7.0	7.0	20.0
NO.24	Beech	0.95	6.0	6.0	8.0	4.0	20.0
NO.25	Beech	1.10	3.0	6.0	7.0	8.0	17.5
NO.26	Beech	1.10	6.0	8.0	6.0	4.0	18.0
NO.27	Unknown	0.10	2.0	2.0	3.0	3.0	5.0
NO.28	Unknown	0.20	2.0	2.0	3.0	3.0	5.0
NO.29	Unknown	0.11	1.0	1.0	2.0	2.0	5.0
NO.30	Unknown	0.25	1.0	1.0	3.0	3.0	5.0
NO.31	Unknown	0.15	1.0	1.0	3.0	3.0	5.0
NO.32	Unknown	0.50	3.0	3.0	4.0	4.0	17.0
NO.33	Unknown	0.15	0.1	4.0	5.0	0.1	15.0
NO.34	Sycamore	0.45	7.0	7.0	7.0	7.0	15.0
NO.35	Sycamore	0.15	2.0	5.0	4.0	2.0	8.0
NO.36	Sycamore	0.50	5.0	6.0	6.0	5.0	19.0
NO.37	Unknown	0.35	2.0	5.0	6.0	3.0	16.0
NO.38	Ash	0.11	0.1	4.0	4.0	0.1	16.0
NO.39	Ash	0.24	2.0	2.0	2.0	2.0	18.0
NO.40	Ash	0.15	2.0	2.0	2.0	2.0	15.0
NO.41	Ash	0.15	2.0	2.0	2.0	2.0	15.0
NO.42	Ash	0.20	2.0	4.0	4.0	2.0	15.0
NO.43	Ash	0.40	2.0	5.0	5.0	2.0	15.0
NO.44	Sycamore	0.30	6.0	6.0	6.0	6.0	15.0
NO.45	Sycamore	0.20	4.0	4.0	4.0	4.0	15.0
NO.46	Sycamore	0.20	4.0	4.0	4.0	4.0	15.0

Abbreviations

wl	brick wall	re	rodding eye
bol	bolard	rnp	road name plate
bs	bus stop	rwp	rainwater pipe
bt	tel inspection chamber	rs	road sign
ctv	cable tv cover	Stn	survey station
dl	drainage channel	sc	stop cock
dk	dropped kerb	st	step
d	diameter	sv	stop valve
ep	electricity pole	tl	traffic light
er	earth rod	tp	telegraph pole
fb	flower bed	vp	vent pipe
fh	fire hydrant	wm	water meter
fp	footpath	wsc	water stop cock
g	gully	wsv	water stop valve
gsc	gas stop cock		
gsv	gas stop valve		
fh	hydrant		
ic	inspection chamber		
jbx	junction box		
kb	kerb		
lbx	letter box		
lp	lamp post		
mh	manhole		
mkr	marker		
h	height		
p	post		
pb	post box		
lp	lamp post		

Fence details

bwf	barbed wire
cb	crash barrier
ci	corrugated iron
clf	chain link
cnp	chestnut paling
ir	iron railing
pnw	post and wire
pwm	post and wire mesh
pnr	post and rail
cbf	close board fence

Line types

Fences
Kerb
Walls
Stairs
Change of Surface
Footpath
Bank Top
Bank Bottom
Building
Building Overhead
Roof heights
Flower Bed
Overhead Cable
Road Edge
Hedge Row
Canopy
Edge of vegitation

Multi directional tree canopy

Trunk position at ground level
Multi bole
No.38
Tree number
Edge of canopy

Notes

Tree species should be confirmed by a arboricultural consultant if critical
Trunk sizes are measured at 1.5m above ground level

Eaves heights (where shown) are taken at the end of the tile / top of guttering.
Ridge heights are taken at the top of the ridge tile.
Service covers indicated where visible at time of survey

Grid North

J. Brotherton & Partners
Land Surveyors & Engineers

'Firdown' 113 Frogmore Lane
Waterlooville, Hampshire PO8 9RD

Tel: 023 9259 1979
Email: enquiries@jbpsurveys.co.uk
Web: www.jbpsurveys.co.uk

Client: Alfred Homes
Drawing Title: Topographic Land Survey
Location: Twyford, Hazeley Road, SO21 1QY

Revisions / Status / Notes

The grid and datum for this survey is based on the Ordinance Survey grid OSGB36

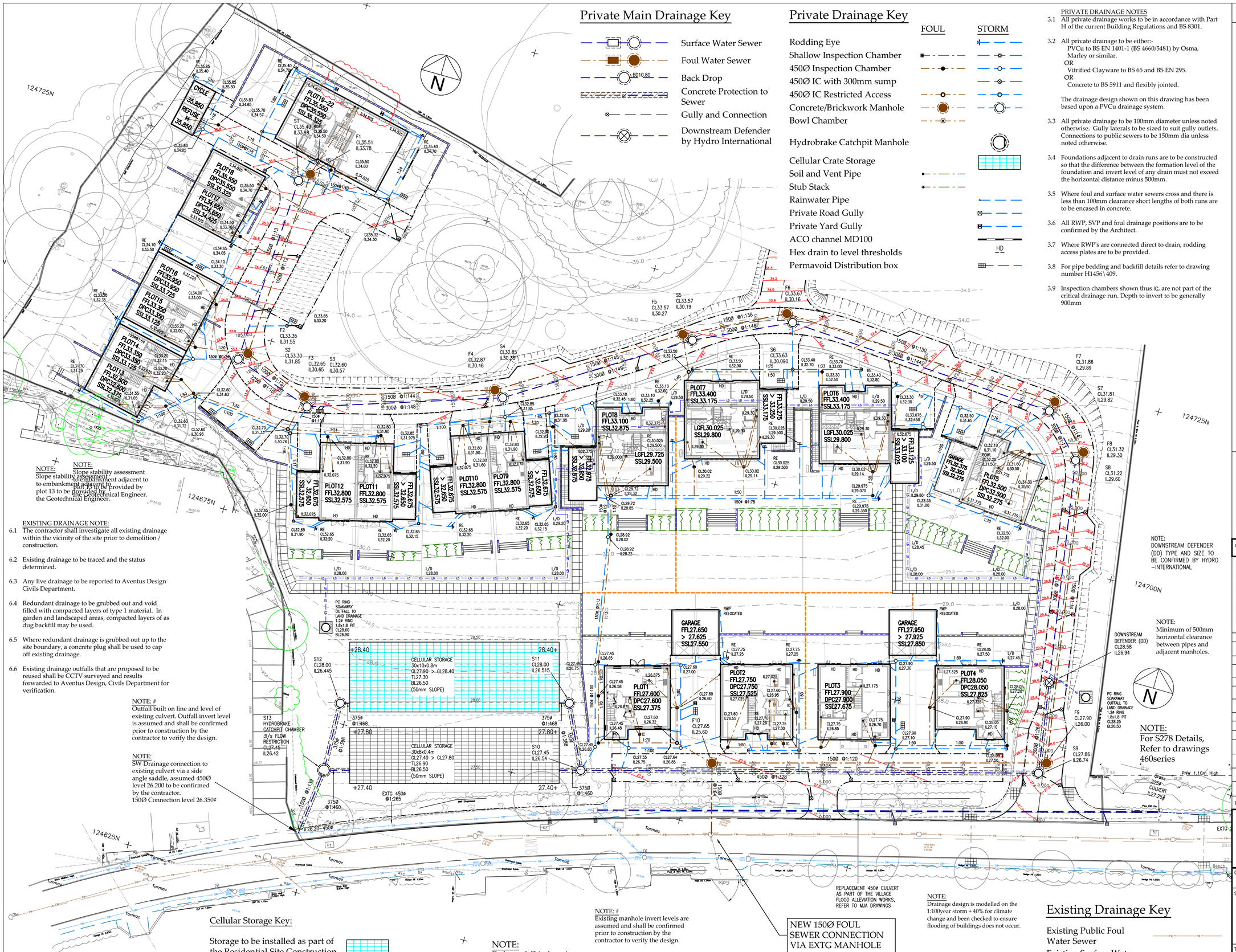
LEVELS BASED ON	OSGB36	Surveyor:- SB	Assistant:- SJB
GRID BASED ON	OSGB36	Drawn By:- SB	Checked by:- JB

Drawing & CAD Ref. 24385
REVISIONS

SCALE (when prtinted) 1:500 @ A2
Date 14th November 2024

Removal of this block also removes all warranties
This drawing has been created for use at a scale of 1:500
All critical dimensions, positions and levels to be checked on site

MEMBERS OF THE SURVEY ASSOCIATION



Private Main Drainage Key

- Surface Water Sewer
- Foul Water Sewer
- Back Drop (BD10.80)
- Concrete Protection to Sewer
- Gully and Connection
- Downstream Defender by Hydro International

Private Drainage Key

	FOUL	STORM
Rodding Eye		
Shallow Inspection Chamber		
450Ø Inspection Chamber		
450Ø IC with 300mm sump		
450Ø IC Restricted Access		
Concrete/Brickwork Manhole		
Bowl Chamber		
Hydrobrake Catchpit Manhole		
Cellular Crate Storage		
Soil and Vent Pipe		
Stub Stack		
Rainwater Pipe		
Private Road Gully		
Private Yard Gully		
ACO channel MD100		
Hex drain to level thresholds		HD
Permavoid Distribution box		

PRIVATE DRAINAGE NOTES

3.1 All private drainage works to be in accordance with Part H of the current Building Regulations and BS 8301.

3.2 All private drainage to be either:-
PVCu to BS EN 1401-1 (BS 4660/5481) by Osma, Marley or similar.
OR
Vitrified Clayware to BS 65 and BS EN 295.
OR
Concrete to BS 5911 and flexibly jointed.

The drainage design shown on this drawing has been based upon a PVCu drainage system.

3.3 All private drainage to be 100mm diameter unless noted otherwise. Gully laterals to be sized to suit gully outlets. Connections to public sewers to be 150mm dia unless noted otherwise.

3.4 Foundations adjacent to drain runs are to be constructed so that the difference between the formation level of the foundation and invert level of any drain must not exceed the horizontal distance minus 500mm.

3.5 Where foul and surface water sewers cross and there is less than 100mm clearance short lengths of both runs are to be encased in concrete.

3.6 All RWP, SVP and foul drainage positions are to be confirmed by the Architect.

3.7 Where RWP's are connected direct to drain, rodding access plates are to be provided.

3.8 For pipe bedding and backfill details refer to drawing number H1456\409.

3.9 Inspection chambers shown thus IC, are not part of the critical drainage run. Depth to invert to be generally 900mm

Notes:

1.1 Do not scale from this drawing.

1.2 All dimensions are in m unless otherwise specified.

1.3 In case of any discrepancies in drawings or details refer to engineer for clarification. Unilateral decisions by the contractor will not be accepted.

1.4 This drawing is to be read in conjunction with all related Architects, Consultants & Sub-Contractors drawings and specifications.

1.5 The Contractor is to ensure that all design drawings and information are read concurrently and any discrepancies or omissions reported directly to Aventus Design.

1.6 This drawing is based upon the survey by Southern Land Surveys, reference Plot 1 16 - 227, dated 4th August 2016 provided in digital format.

1.7 On site positioning data was recorded using a Trimble R8 GNSS GPS System unless otherwise stated.

1.8 The grid relates to Ordnance Survey.

1.9 The Contractor must check the levels of all existing drainage outfalls prior to construction of any drainage, unless otherwise agreed, to ensure the proposed design may be achieved. Any discrepancies must be reported immediately to Aventus Design.

1.10 Sulphates have been determined as class 1 (DS-1) for design purposes in accordance with BRE Special Digest 1 (2001). Buried Concrete to be in accordance with ACEC Site Class AC-1.

1.11 All external building dimensions are to be checked against the Architects drawings prior to any construction commencing.

1.12 All adoptable highway works to be in accordance with the Local Authorities Specifications.

1.13 All adoptable drainage works to be in accordance with the Water Authorities standard guidelines for connections etc.

1.14 Formation to road/hardstanding to be proof rolled and any soft spots in subgrade of road/Hardstanding areas are to be excavated and replaced with well compacted sub-base or free draining granular material to Department of Transport Specification for Highway Works Part 2' Table 6/1 Class 1 (General Granular Fill) and compacted in accordance with Table 6/4.

CDM REGULATIONS 2015

Aventus Design have considered and where reasonably practicable avoided foreseeable risks in the preparation of the design shown on this and related drawings. Significant risks which remain and associated control measures are identified in the Risk Register and should be given particular attention by the main contractor on site.

RISKS RELATING TO THIS DRAWING:
RISK NUMBERS 7 - 9 on Risk Register

NOTE : The Risk Register records only those elements considered unusual, difficult to manage or outside the anticipated expertise of a competent contractor.

Drawing Status	CONSTRUCTION ISSUE

NOTE:
Drawing is noted as Construction Issue, pending approval from Building Control, LA Highways, Water Authority and the Lead Local Flood Authority/EA.

REV.	DATE	DESCRIPTION	CHK	APP
V	16.07.25	Plots 19-22 rear levels amended.	CU	-
T	10.07.25	Drain points to plots 2, 7 & 12 amended. Hex Drain to plots 9-12 amended.	CU	-
S	07.07.25	Gabion wall added next to Plot 12.	CU	-
R	10.06.25	Plot 6 driveway IC amended. Downstream Defender added.	SU	-
P	15.05.25	Plot 8/9 Gabion wall and steps amended.	CU	-
N	09.05.25	Plot 5&7 FW drainage amended to avoid Speedeck piles.	SU	-
M	15.04.25	Highway amended to HCC comments. CONSTRUCTION ISSUE.	SU	-
L	04.04.25	Pharmacy survey Adj. to plot 13 added.	SU	-
K	03.04.25	S104 removed, key updated.	CU	-
J	28.03.25	Drain points amended to plots 2,3,5-8.	SU	-
H	11.03.25	Drainage amended to plots 2, 5, 9/10 & 17/18 to suit Speedeck drawings.	SU	-
G	10.03.25	PN 1.000 & 1.001 and reduced to 100mm and clearance note added.	SU	-
F	24.02.25	Drainage updated to suit Architects Layout.	CU	-
E	13.02.25	New 450Ø culvert along site frontage extended, gullies added to Hazeley Road.	SU	-

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Civil & Structural Engineers
Email: mail@aventusdesign.co.uk
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Client: Alfred Homes

Site: Hazeley Road, Twyford, Hants. SO21 1QY

Title: Site Layout & Drainage

Drawing no. H1456 - 402

Issue:	Scale: 1:250 @ A1	Checked: -	Date: -
V	Drn: S.U. Date: Dec '24	Approv: -	Date: -

ORIGINAL SIZE – A1

NOTE:
Slope stability assessment to embankment adjacent to plot 13 to be provided by the Geotechnical Engineer.

NOTE:
Slope stability assessment to embankment adjacent to plot 13 to be provided by the Geotechnical Engineer.

EXISTING DRAINAGE NOTE:

6.1 The contractor shall investigate all existing drainage within the vicinity of the site prior to demolition / construction.

6.2 Existing drainage to be traced and the status determined.

6.3 Any live drainage to be reported to Aventus Design Civils Department.

6.4 Redundant drainage to be grubbed out and void filled with compacted layers of type 1 material. In garden and landscaped areas, compacted layers of as dug backfill may be used.

6.5 Where redundant drainage is grubbed out up to the site boundary, a concrete plug shall be used to cap off existing drainage.

6.6 Existing drainage outfalls that are proposed to be reused shall be CCTV surveyed and results forwarded to Aventus Design, Civils Department for verification.

NOTE: #
Outfall built on line and level of existing culvert. Outfall invert level is assumed and shall be confirmed prior to construction by the contractor to verify the design.

NOTE:
SW Drainage connection to existing culvert via a side angle saddle, assumed 450Ø level 26.200 to be confirmed by the contractor.
150Ø Connection level 26.350#

NOTE:
DOWNSTREAM DEFENDER (DD) TYPE AND SIZE TO BE CONFIRMED BY HYDRO –INTERNATIONAL

NOTE:
Minimum of 500mm horizontal clearance between pipes and adjacent manholes.

NOTE:
For S278 Details, Refer to drawings 460series

Cellular Storage Key:

Storage to be installed as part of the Residential Site Construction

Additional Storage to be installed if future Carpark is constructed

NOTE:
Refer to MJA drawings for works to the existing ditches / culverts.

NOTE: #
Existing manhole invert levels are assumed and shall be confirmed prior to construction by the contractor to verify the design.

REPLACEMENT 450Ø CULVERT AS PART OF THE VILLAGE FLOOD ALLEVIATION WORKS, REFER TO MJA DRAWINGS

NEW 150Ø FOUL SEWER CONNECTION VIA EXTG MANHOLE NO3601

NOTE:
Drainage design is modelled on the 1:100year storm + 40% for climate change and been checked to ensure flooding of buildings does not occur.

Existing Drainage Key

- Existing Public Foul Water Sewer
- Existing Surface Water Culvert

NOTE:
Details of public sewers taken from local Water Authority Sewer Records.