



RIDGE

SPECIFICATION DOCUMENT

Grafton Lock House
Bampton, Oxford, OX18 2RY

Environment Agency

25 February 2025

SPECIFICATION DOCUMENT

Grafton Lock House

RIDGE



GRAFTON LOCK HOUSE, BAMPTON, OXFORD, OX18 2RY

HARDSTANDING AND DRAINAGE REPLACEMENT WORKS

Environment Agency

25 February 2025

Prepared for

Environment Agency
Kings Meadow House
King's Meadow Road
Reading
Berkshire
RG1 8DQ

Prepared by

Ridge and Partners LLP
Beaumont House
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SPECIFICATION DOCUMENT

Grafton Lock House

The logo for RIDGE, featuring the word "RIDGE" in a white, serif, all-caps font, centered within a solid dark green rectangular background.

CONTENTS PAGE

Section 1 - Preliminaries Breakdown

Section 2 - Contingency Sums

Section 3 - Schedule of Works

Section 4 - Collection Page

Section 5 - Form of Tender

Appendix A - Location Map of Grafton Lock House

Appendix B - Existing Photos of Grafton Lock Driveway

Appendix C - Proposed Works Drawing

Appendix D - Drain & Able Drainage Survey

**Appendix E - Environment Agency, Constructing a Better Environment Safety,
Health, Environment and Wellbeing, Code of Practice**

1. PRELIMINARIES BREAKDOWN

PRELIMINARIES BREAKDOWN

Ref.	Description	£ time related	£ fixed
1.0	PRELIMINARIES BREAKDOWN		
	Works Contract Procurement		
1.1	Compliance with tender rules		
1.2	Pricing		
1.3	Site Visit		
	Works Contract Establishment		
1.4	General Information		
1.5	Programme		
1.6	Health & Safety Information		
1.7	Management & Staff		
1.8	Temporary Services		
1.9	Temporary Security, Safety & Control		
1.10	Temporary Works		
	Works Contract Management		
1.11	Supervision, Cooperation & Coordination		
1.12	Progress & Operation		
1.13	Protection From		
1.14	Method & Sequence		
	Works Contract Verification		
1.15	Standards of Products & Executions		
1.16	Services Generally		
1.17	Quality Control		

PRELIMINARIES BREAKDOWN

Ref.	Description	£ time related	£ fixed
	Works Contract Administration		
1.18	Use of Documents		
1.19	Documents Provided by Contractor, Subcontractors & Suppliers		
1.20	Subletting & Supply		
	Works Contract Completion		
1.21	Notification		
1.22	Completion Works		
1.23	Information		
	Other		
1.24	Insurance, Bonds, Warranties & Guarantees		
1.25	Site Clearance & Cleaning		
	NOTE: The above relates to the project specific preliminaries and are deemed to include all definitions, procedures, policies and works detailed in this document. Where no project specific preliminaries are confirmed during the tendering stage of the project the contractor pricing the works will price the above based on the JCT Minor Works Building Contract 2024 Edition executed as a deed.		
SECTION 1 - COSTED TOTAL (Excl VAT) £			

2. CONTINGENCY SUM

SPECIFICATION DOCUMENT

Grafton Lock House - External Hardstanding Works



CONTINGENCY SUM


Ref.	Description	£	p
2.0	CONTINGENCY SUM		
2.1	The contractor is to allow a Contingency Sum of 10% of the total value of the Preliminary Breakdown & Schedule of Measured Works (Sections 1.0 & 3.0) only , as described within this specification document. This is for works of an unforeseen nature. All such works to be executed under written instructions from the Ridge & Partners LLP or the Environment Agency.		
SECTION 2 - COSTED TOTAL (Excel VAT) £			

3. SCHEDULE OF WORKS PRICING DOCUMENT

Grafton Lock House - External Hardstanding Works

SCHEDULE OF WORKS

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Ref.	Description	£	p
3.0	SCHEDULE OF WORKS		
3.1	INTRODUCTION		
3.1.1	The contractor is to note that the proposed works forming this schedule are for renewal of the concrete hardstanding to the front elevation, replacement of below ground drainage pipework and repairs to the entrance gates.		
3.1.2	The location of Grafton Lock House is shown in the Google Maps image below, as well as in more detail in Appendix A.		
			
3.1.3	Location of works: Grafton Lock House, Bampton, Oxford, OX18 2RY		
3.1.4	The Client will be: Environment Agency Address: Kings Meadow House, Kings Meadow Road, Reading, Berkshire, RH1 8DG.		
3.1.5	The Client Representative will be: Ridge & Partners LLP Address: Beaumont House, 59 High Street, Theale, Reading, Berkshire, RG7 5AL.		
3.2	GENERAL		
3.2.1	The schedule has been prepared in order for a detailed cost breakdown to be provided, to aid the assessment of the works and to assist with progress and payments.		

Grafton Lock House - External Hardstanding Works

SCHEDULE OF WORKS

RIDGE

Ref.	Description	£	p
3.2.2	The contractor is to take responsibility for the schedule and is to ensure its completeness with regards to the proposed scope of works. No costs incurred by the contractor during the pricing of these works will be accepted by the Employer.		
3.2.3	The contractor should note that all items of work contained within this schedule have been described in reasonable detail, but the contractor shall consider them in conjunction with material manufacturers recommendations, and actual work on site. The contractor shall include in his price for everything that is necessary in order to allow him to carry out the works in the best manner whether specifically mentioned or not. If and where approximate quantities are stated, these are for guidance only and the contractor is to make their own assessment of the actual quantities required by visiting site prior to submitting their costed return.		
3.2.4	The contractor is responsible for checking all dimensions on site. Any alterations or amendments to those detailed in this document are to be confirmed in writing by Ridge & Partners LLP.		
3.2.5	Should there be any items of work which the contractor is unclear as to what is required, then the query should be raised to Ridge & Partners LLP for clarification, during the tender process.		
3.2.6	The contractor is to price the schedule boldly in black ink, or typed to facilitate the photocopying of priced copies.		
3.2.7	<u>The contractor is to allow to price for each item individually where ever possible. Items should not be grouped together quoting lump sums prices.</u>		
3.2.8	No qualifications or alterations of any kind are to be made by the contractor to this schedule of works without the written agreement by the CA (Ridge & Partners LLP) or Environment Agency.		
3.2.9	The contractor is to refer to the Preliminaries section of this document for all applicable standards of all products and materials described below. Strict adherence to the requirements are required at all times.		

Grafton Lock House - External Hardstanding Works

SCHEDULE OF WORKS

RIDGE

Ref.	Description	£	p
3.2.10	The contractor must examine this specification document, to ascertain all local conditions and restrictions, accessibility and visit site to ensure they have allowed for all necessary works (all labour, materials and equipment). No claims arising from the failure to do so, will be considered. The client will not be held responsible for any additional works claims which are deemed to be reasonably foreseeable which the contractor should have included for.		
3.2.11	The contractor's attention is also drawn to the Appendices detailing additional information required to complete the works. The contractor must strictly adhere to the requirements of these sections at all times while completing the works.		
3.2.12	The contractor must notify Ridge & Partners LLP upon the discovery of any discrepancies, errors or omissions within the specification documents or the works required immediately.		
3.2.13	The contractor shall be responsible for ensuring all employees including sub-contractors fully understand and work in accordance with the site's rules and procedures. All contractors must wear company clothing, ID badges and have the correct PPE provisions.		
3.2.14	Allow to submit a detailed and site specific Pre-start Health & Safety Plan for the proposed works to Ridge & Partners LLP for comment and approval.		
3.2.15	The contractor is to allow for regularly removing waste materials from site. Where items are to be set aside, allow to record their condition and for safe and secure storage.		
3.2.16	The contractor is to leave the working areas clean and tidy upon at the end of the each working day.		
3.2.17	The contractor is to price for all works to be undertaken during "normal working hours" unless otherwise stated. Exact timings: to be confirmed, prior to works starting on site. No weekend or Bank Holiday works are permitted. No noisy works are permitted before 8.30am.		
3.2.18	Access to the site is only permitted for working on the proposed works.		

Ref.	Description	£	p
3.2.19	The contractor shall carry out the works without undue inconvenience and nuisance and without danger to building owners, occupants and visitors.		
3.2.20	When undertaking the specified works, they are to be in accordance with manufacturer's recommendations and guidelines.		
3.2.21	The contractor must have a full understanding of the requirements of the CDM Regulations and must hold SMSTS and SSSTS Qualifications. Evidence of this must be provided as part of the tender return submission.		
3.3	WORKS PROGRAMMING/ PHASING		
3.3.1	The works are likely to be carried out whilst the building is in occupation and as such provide a cost reflective of this / phase works accordingly.		
3.3.2	The contractor is to outline their proposals for programming the works below. A project programme must be provided with the tender.		
3.3.3	Prior to commencing works on site, the contractor must produce detailed plans for means of access, site compound and storage facilities. This is to be issued to Ridge & Partners LLP and the Environment Agency for approval a minimum of two weeks prior to the commencement of works.		
3.3.4	The contractor shall be responsible for ensuring all works undertaken comply with current regulations and byelaws.		
3.3.5	The successful contractor is to undertake the works utilising trades persons and operatives who have the relevant experience, competence and technical skills required to achieve the applicable standards of all works, products and materials described below.		
3.3.6	The contractor is to make a reasonable allowance for the inspection, instruction and agreement of any works by Ridge & Partners LLP during the works as necessary to complete the works to the reasonable satisfaction of Ridge & Partners LLP.		

Ref.	Description	£	p
3.4	CONSTRUCTION (DESIGN AND MANAGEMENT REGULATIONS) 2015		
3.4.1	The Construction (Design & Management) Regulations 2015 apply in full to these works. The contractor must comply with these regulations and ensure all required information is provided. The contractor will take on the role and responsibilities of the Principle Contractor under the CDM Regulations and take on the management and supervision of all subcontractors.		
3.4.2	The contractor must maintain safe access routes for emergency services, Environment Agency Personnel and the project team.		
3.5	SITE MANAGEMENT & WELFARE		
3.5.1	The contractor is to submit proposals for site set up, site accommodation and welfare facilities which will be discussed and agreed at the pre-commencement meeting. Designated space maybe provided within the grounds of the site, depending on the extent of the facilities required by the contractor.		
3.5.2	The contractor is to provide all necessary barriers; safety signage and site security required to carry out the works. This must include adequate 1800mm timber hoarding and or "Heras" type fencing, double clipped, around any external works areas and site compounds. The property must remain secure at all times and once works are complete at the end of each day. All necessary lighting, warning and prohibition signs must be provided. The contractor is to ensure that no unauthorised access is permitted within the curtilage of the site or beyond the building secured entrances.		
3.5.3	The contractor is to allow to use the existing toilet facilities on site where required, these being the outdoor WC and Waterways Mess Facilities (not the kitchen and bathroom within the main house). However if needed / preferred the contractor is to allow for additional on-site welfare facilities for the duration of the works. The contractor is to ensure that these are well maintained for the duration of the works. The contractor must ensure that all existing service covers, footpaths and other surfaces are adequately protected from damage from the use of site facilities during the works.		

Ref.	Description	£	p
3.5.4	The contractor shall provide and maintain all necessary mechanical equipment, plant etc. of all descriptions required for the satisfactory completion of the works and remove all, as and when required, or when directed by Ridge & Partners LLP.		
3.5.5	Due to the nature of the site all operatives must respect the surrounding area and be respectful to neighbours and members of the public.		
3.5.6	The contractor is to allow for an appointed site foreman to be on site at all times for the duration of the works. The site foreman must be able to communicate well with the client, all client representatives and member of the public and be available to liaise directly with them at all times. Contact details of the site foreman must be provided at the pre-contract meeting.		
3.5.7	The contractor shall be responsible for obtaining any required permission from the Local Authority, Client or other bodies for the positioning of any temporary facilities or structures outside the premises required for completing the works and ensuring all works undertaken comply with current regulations and byelaws.		
3.5.8	The contractor is to allow for all necessary protection to prevent surfaces and areas adjacent to the works from being damaged by the proposed works.		
3.6	EXISTING SERVICES		
3.6.1	No disruption of services to the building shall be allowed without written consent from Ridge & Partners LLP or the Environment Agency and without adequate notice of the disruption being provided.		
3.6.2	Adequate protection of the existing services to the building will be required and any damage shall be made good to the satisfaction of Ridge & Partners LLP, the Environment Agency and the appropriate Statutory Authority, with the minimum of delay at the contractor's expense.		

Ref.	Description	£	p
3.6.3	The contractor is to ascertain for themselves the location of all services (which shall include gas, water, electricity, telecommunications services, fibre optic, drains (foul and surface), ducts, tubes, tunnels and the like, on and adjacent to the Site (underground and over ground)), that may be affected by the carrying out of the works and is to allow for all costs in connection with upholding, protecting and, if necessary, temporarily and / or permanently diverting and reinstating these services. All costs associated with works undertaken by Statutory / Service Utility Companies, including builder's work in connection, are to be allowed for by the contractor.		
3.6.4	All chambers, manholes, draw pits, plant and the like shall be adequately protected and any damage shall be made good at the contractor's expense.		
3.7	ACCESS		
3.7.1	The contractor is to provide all necessary access equipment required for completing the specified works. Any scaffolding and access equipment must be installed/ erected and maintained to current national standards. Where this is permitted the contractor is responsible for maintaining the access routes and providing all necessary barriers, signage etc. to maintain safe working routes for the occupants, visitors and site operatives. Upon completion all access routes to be thoroughly cleaned and reinstated to match the existing standard.		
3.7.2	The contractor is to allow for all necessary temporary shuttering, formwork and the like to excavations necessary to carry out replacement to the below ground drainage		
3.7.3	The contractor is to familiarise themselves with the Environment Agency, Constructing a Better Environment - Safety, Health, Environment and Wellbeing, Code of Practice prior to works starting on site. This document provides guidance on working methods in the vicinity to water. This is provided within Appendix E.		
3.7.4	When working near or over the water, the contractor must undertake works in accordance with the rules and requirement stated by the Environment Agency.		

Grafton Lock House - External Hardstanding Works

SCHEDULE OF WORKS

RIDGE

Ref.	Description	£	p
3.7.5	The contractor is to record photographs of the works throughout the entirety of the project including all drainage repairs, excavations, sub base, application of concrete etc. These photos must be provided to the Environment Agency at project completion on a USB. All photos must be dated and annotated with what is being shown.		
3.8	EXTERNAL WORKS		
3.8.1	Drainage Replacement		
3.8.1.1	Refer to Appendix D "Drain & Able CCTV Drainage Survey 12 December 2023". The report highlight that the existing below ground drainage runs are currently suffering from numerous fractures and displaced joints. Note existing foul tanks are to remain in position.		
3.8.1.2	In addition to the existing report contractor to carry out further testing of the drain runs between the septic tanks to ensure that they are in an adequate condition and provide adequate flow. Provide findings and any recommended works to Ridge for consideration.		
3.8.1.3	Main contractor is to appoint Drain & Able to carry out the replacement works to the drainage pipes as the Environment Agency's preferred drainage contractor. The main contractor is to manage and supervise any subcontractors and allow all associated costs within their tender return.		
3.8.1.4	Contractor is to allow to replace all below ground pipework as shown on the referenced Drain & Able CCTV survey. Allow for carrying out all excavations and any necessary shuttering / temporary form work to access the pipework. All excavations are to be covered at the end of the working day / during periods of prolonged pauses in the work.		
3.8.1.5	Following the removal of the existing concrete hardstanding as noted elsewhere, excavate to expose drainage pipes to be replaced. Allow to set aside an amount of subsoil for backfilling following installation of new pipework. Remove all existing pipes from site.		
3.8.1.6	The trench between the lock house and garage should not be excavated lower than the foundations of the main property. If the excavations are lower than the main building foundations advise Ridge for instruction.		

Ref.	Description	£	p
3.8.1.7	Supply and install new PVC below ground drainage pipework to match existing dimensions with flexible joints. Line the bottom of the trenches to suit the depths of the pipe below the ground level. For the purposes of pricing allow to line the newly formed trenches with a minimum of 100mm depth granular material up to a maximum of 10mm size, lay new pipework and backfill with same granular material up to the top of the pipe. Arisings from the excavation are to be used to backfill the trenches ensuring that angular stones exceeding 40mm in size are removed. Backfill to be placed in layers no thicker than 300mm and well compacted ensuring no damage to buried pipework. Bring levels up to underside of new Type 1 subbase for new concrete hardstanding.		
3.8.1.8	Provide an alternative price here for the provision of vitrified clay pipework with the necessary fill and backfilling in accordance with Approved Document H. Cost is not to be carried forward to the main total and will be considered by the client:		
3.8.1.9	£.....		
3.8.1.10	Prior to completion the contractor is to carry out testing to ensure that the newly installed drainage runs and existing pipes between the septic tanks are water and air tight and air tight and provide findings to Ridge. Allow to provide a CCTV survey on completion with video footage and updated drainage plan.		
3.8.2	Concrete Driveway / Hardstandings		
3.8.2.1	Refer to Ridge drawing 5013389-RDG-XX-XX-DR-C-0001 P01 Plan and Construction details. Note that measurements and locations of existing features are not to be taken off the drawing and the contractor is to confirm measurements and locations of features on site. Contractor to finalise locations of joints and submit any deviations to Ridge for approval.		
3.8.2.2	To areas indicated on drawing break up existing concrete hardstanding and dispose off site to a dedicated concrete recycling facility. The existing concrete planter kerbs are to remain in position and be protected throughout the course of the works. Contractor to provide details of nominated disposal site for the Environment Agency records including quantity of concrete disposed for recycling.		

Ref.	Description	£	p
3.8.2.3	The existing level of the hardstanding's and driveways are to be retained. Existing raised manhole covers / surrounds are to be broken out, lowered and reconstructed to become flush with proposed finished hardstanding levels.		
3.8.2.4	Excavate to reduce levels to allow formation buildup of new hardstanding in accordance with civil engineers drawings and details. Dispose of all arisings from site. Provide all isolation joints, kerbs etc as indicated on drawing.		
3.8.2.5	Construct new concrete hardstanding in accordance with civil engineers details as shown on drawing. Note that for Contraction Joint locations (C.J) the A393 mesh is to stop 60mm clear either side of the proposed cut with a lower level mesh provided and lapping with the upper mesh layer as shown on the detail. Note that details shown for isolation joints around manhole covers apply to all shapes of manholes. Concrete must be laid to levels to ensure water does not sit against the house / garage and ideally fall towards the ditch along the northern side, minimum fall of 1:40. Allow to finish concrete with brushed finish as indicated on drawings.		
3.8.2.6	Prior to commencement make up a mock sample of concrete to show client proposed brush finish for approval.		
3.8.2.7	Note: As indicated on referenced drawing recycled Type 1 subbase and low carbon concrete slab is to be used.		
3.8.3	Main Entrance Gates		
3.8.3.1	Remove existing double leaf timber entrance gates and set aside for reuse, dispose of existing ironmongery. Store Gates flat to ensure that there is no warping or distortion to the gates.		
3.8.3.2	Allow to break out existing large fence posts and excavate to form new openings for reinstatement and remove all existing concrete from site. Reinstall fence posts to ensure they are plumb in fresh concrete and to existing heights / dimensions between posts. The requirement for this will be determined on site after checking whether existing posts are plumb.		

Grafton Lock House - External Hardstanding Works

SCHEDULE OF WORKS

RIDGE

Ref.	Description	£	p
3.8.3.3	Reinstate previously set aside gates and secure to fence posts. Each leaf to include 3nr galvanised adjustable heavy duty hook and band gate hinges to be at least half the width of the gate leaf. Provide new latch, locks and pull up bolt to match existing. Each gate leaf to be fitted with Heavy Duty 75Kg spring loaded gate castor to provide additional support at the leading edges. Finish of concrete hardstanding in area of gate swing (either brushed or smooth) to be confirmed by client.		
3.9	Completion		
3.9.1	The contractor is to leave the property clear, debris free and tidy on completion of the works, to the satisfaction of Ridge & Partners LLP, including the removal of all debris, materials plant and equipment etc., ready for inspection and handover.		
3.9.2	The contractor is to provide and ensure Health and Safety File and Building Manual for the works has been issued for comment 1 week prior to completion. The Health and Safety File is to include all O&M information for the works.		
3.9.3	Upon completion ensure that the Health and Safety file and as built drawings are provided to Ridge & Partners LLP for issue to the Environment Agency one week after Practical Completion. The information is to be provided in digital format on a USB.		
SECTION 3 - COSTED TOTAL (Excl VAT) £			

4. COLLECTION PAGE

SPECIFICATION DOCUMENT

Grafton Lock House - External Hardstanding Works

RIDGE

COLLECTION PAGE

Ref.	Description	£	p
4.0	COLLECTION PAGE		
4.1	PRELIMINARIES BREAKDOWN (Section 1.0)		
4.2	SCHEDULE OF WORKS (Section 3.0)		
4.3	CONTINGENCY SUM (10%) (Section 2.0)		
	SUB TOTAL		
4.4	MAIN CONTRACTOR OVERHEADS & PROFIT		
	Add a percentage to cover all Main Contractor overheads and profits based on the value of this tender Submission. The percentage is to allow for all adjustments to the net value of work (including Main Contractor Discount). No other adjustments shall apply.		
	Insert Percentage.....		
	TOTAL		
	Contractor :		
	Address :		
		
		
		
		
	Date :		
TOTAL PRICED SUBMISSION (Excl VAT) £			

5. FORM OF TENDER

Grafton Lock House - External Hardstanding Works

FORM OF TENDER

Tender For: Grafton Lock House - External Hardstanding Works

TENDER RETURNS ARE TO BE ISSUED TO:

To: Kathryn Forster
Environment Agency
Kings Meadow House
King's Meadow Road
Reading
Berkshire
RG1 8DQ

From:
.....
.....
.....
.....

We have examined the following documents:

- Specification & Pricing Document
- All appendices included within the Specification & Pricing Document
- All drawings listed in the Specification & Pricing Document

We offer to carry out the whole of the Works described in accordance with the documents referred to above;

for the sum of £ (in words)

£ (in figures) exclusive of any VAT chargeable

within weeks from acceptance of our tender, comprising a period of:

..... weeks from acceptance to the Date of Possession and

..... weeks from the Date of Possession to the Date for Completion.

For the purposes of the warranties and guarantee requirements mentioned in the Specification & Pricing Document, We have reviewed the contents of the Specification & Pricing Document and accept, without amendment, the wording set out in the appendices.

FORM OF TENDER

This image shows a blank sheet of white paper with ten horizontal dashed lines, typical of primary-ruled notebook paper. The lines are evenly spaced and extend across the width of the page. There are no margins, text, or other markings on the paper.

Grafton Lock House - External Hardstanding Works

FORM OF TENDER

Tender For: Grafton Lock House - External Hardstanding Works

Certificate of Bona Fide Tender

The essence of selective tendering is that the client shall receive bona fide competitive tenders from all those tendering. In recognition of the principle, I certify that this is a bona fide tender, intended to be competitive, and that we have not fixed or adjusted the amount of the tender by or under or in accordance with any agreement or arrangement with any other person. I also certify that we have not done and we undertake that will not do at any time before the hour and date specified for return of this tender any of the following acts:-

- a. Communication to a person other than the person calling for those tenders the amount or approximate amount of the proposed tender, except where the disclosure, in confidence, of the approximate amount of the tender was necessary to obtain insurance premium quotations required for the preparation of the tender.
- b. entering into any agreement or arrangement with any other person that he shall refrain from tendering or as to the amount of any tender to be submitted.
- c. offering or paying or giving or agreeing to pay or give any sum of money or valuable consideration directly or indirectly to any person for doing or having done or causing or having caused to be done in relation to any other tender or proposed tender for the said work any act or thing or sort described above.

In this certificate the word "person" includes any person any body or association, corporate or unincorporate and "any agreement or arrangement" includes any such transaction, formal or informal, and whether legally binding or not.

Signed by or on behalf of :

Signature :
duly authorised to sign

Position :

Date :

Note: The completed Form of Tender together with the information requested must be received at the above address no later than the agreed time and date set out in the tender invitation.

APPENDIX A

Location Plan of Grafton Lock House

NOTES:

- 1. DO NOT SCALE
- 2. DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SERVICES AND STRUCTURAL ENGINEERS DRAWINGS & SPECIFICATIONS.
- 3. © COPYRIGHT. DRAWINGS NOT TO BE REPRODUCED OR USED WITHOUT PRIOR WRITTEN CONSENT.

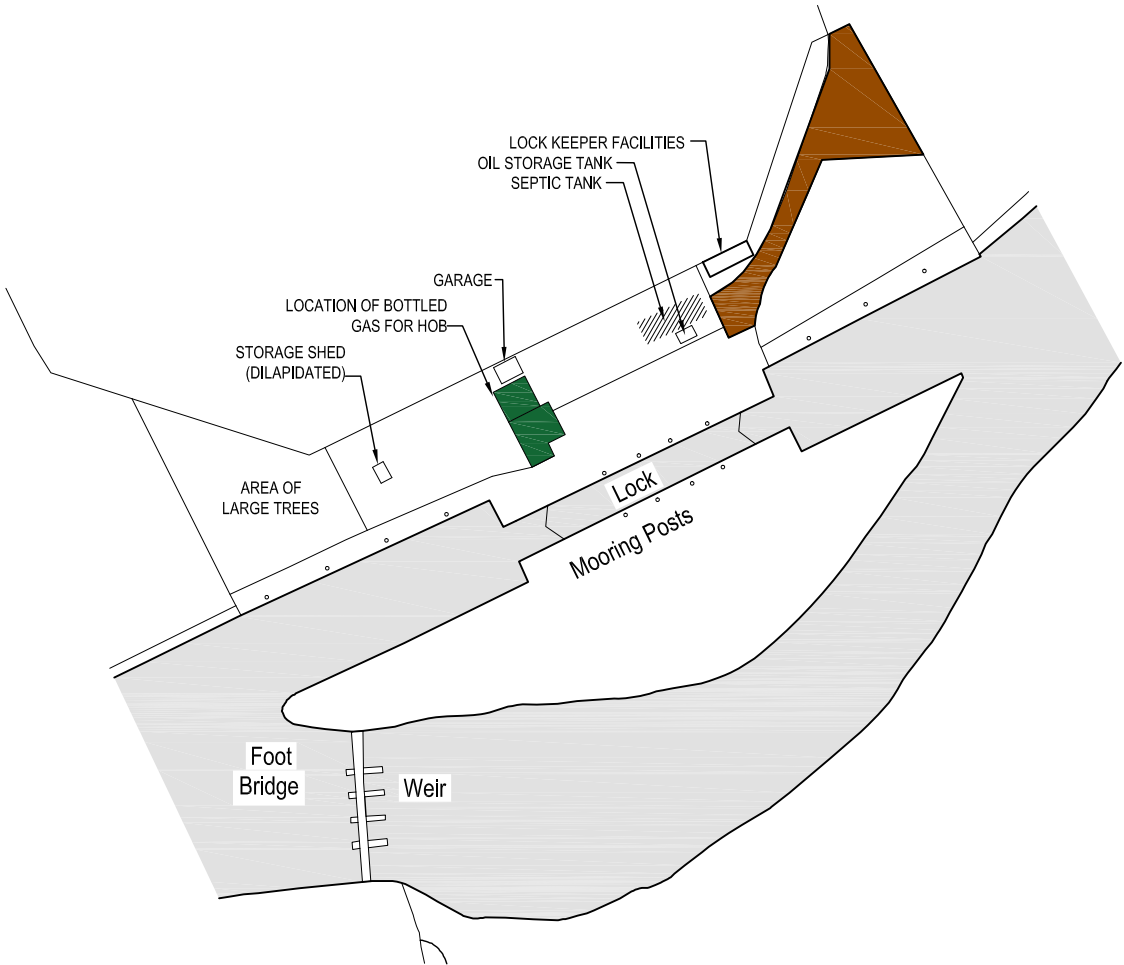


KEY

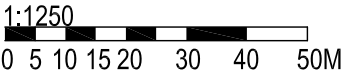
LOCK HOUSE

ACCESS ROUTE TO LOCK HOUSE

RIVER THAMES



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REF	DATE	REVISION	DRAWN	CHECKED
SCALE	DATE	DRAWN BY	CHECKED BY	
1:1250@A4	12/2020	JC	SB	

DRAWING

Grafton Lock
Site Plan

PROJECT

Condition and
Measured Survey

CLIENT

Environmental Agency

RIDGE

BEAUMONT HOUSE
59 HIGH STREET
THEALE
READING, RG7 5AL
Also at Oxford, Bristol, London and Leicester

TEL: 0118 932 3088
FAX: 01993 815002
www.ridge.co.uk

DRG NO
5013389 A001

REV
1

FILE REFERENCE:
\\Ridge\ACK\Ridge Company Data\Reading\UserDocs\jrome\Desktop\5013389
Grafton Lock Home Survey.dwg
XREF FILE REFERENCE:

APPENDIX B

Existing Photos of Grafton Lock Driveway







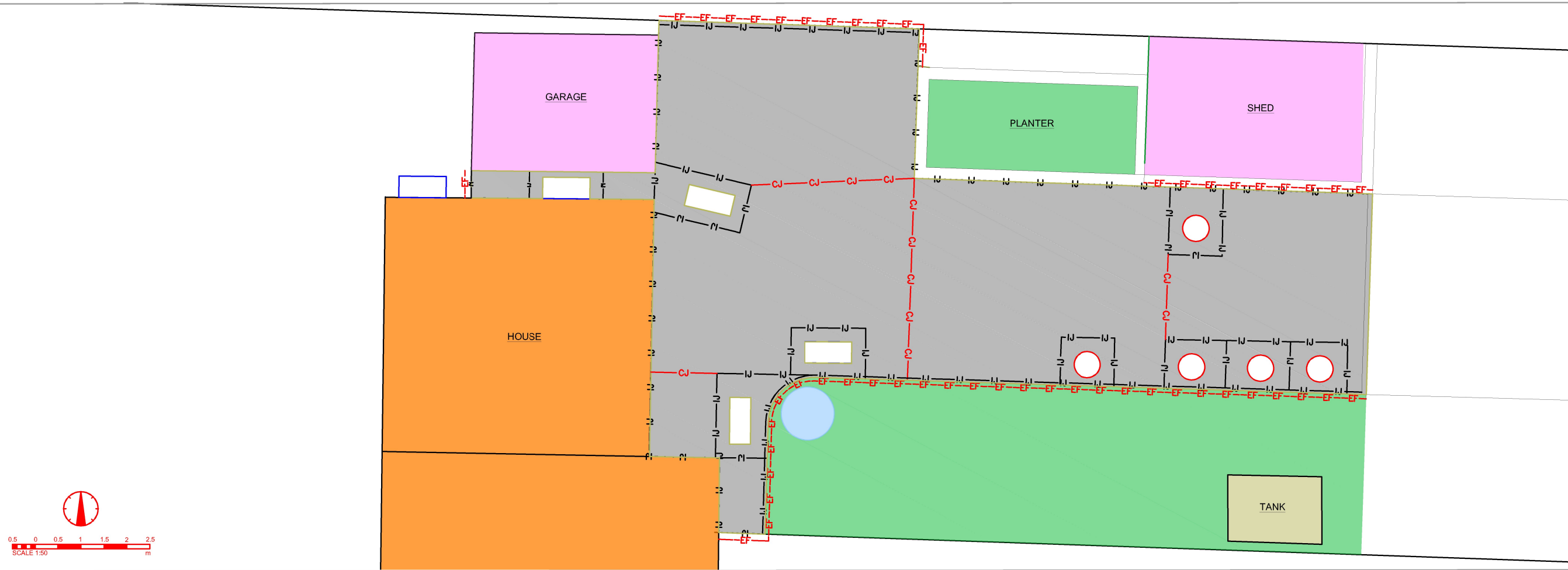






APPENDIX C

Proposed Drawings



DISCLAIMER NOTES:

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- ALL DIMENSIONS MUST BE CHECKED ON-SITE PRIOR TO COMMENCEMENT OF ANY RELATED WORKS.
- THIS DOCUMENT MUST BE READ IN CONJUNCTION WITH ALL SUPPORTING DOCUMENTS PRODUCED BY THE ORIGINATOR AND OTHER PROJECT DISCIPLINES.
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- USERS OF THIS DOCUMENT ARE RESPONSIBLE FOR CHECKING WHICH REVISION IS CURRENT.
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DRAWING NOTES:

COM REGULATIONS 2015
SIGNIFICANT OR NON-OBSVIOUS RISKS AND RISKS WHICH ARE DIFFICULT TO MANAGE ARE IDENTIFIED IN THIS DRAWING USING THE FOLLOWING SYMBOL IDENTIFIED TO THE RIGHT WITH BRIEF ACCOMPANYING TEXT. FOR FURTHER DETAILS OF THE RISKS IDENTIFIED BY DESIGNERS, REFERENCE SHOULD BE MADE TO COM HAZARD REGISTER.

KEY	DESCRIPTION
	APPROXIMATE POSITION OF CHAMBER COVER
	APPROXIMATE POSITION OF CHAMBER COVER
	CONCRETE HARDSTANDING TO BE RELAYED
	EXISTING STORAGE UNITS
	EXISTING GRASS / PLANTER
	OIL STORAGE TANK
	POND
	50x150mm PRECAST CONCRETE EDGING KERB, TYPE EF.
	CONTRACTION JOINT
	ISOLATION JOINT

NOTES

- DRAWING IS NOT TO SCALE AND SITE LAYOUT IS INDICATIVE ONLY.
- JOINT LOCATIONS ARE INDICATIVE AND SUBJECT TO FINAL CONTRACTORS DESIGN.
- EXISTING CONCRETE IS TO BE REMOVED FROM SITE AND DISPOSED OF AT A LOCAL RECYCLING CENTRE ONLY.

P02	TENDER	04/07/2024	DP	ES
P01	INFORMATION	03/06/2024	TA	ACB
REV	DESCRIPTION	DATE	BY	CHKD

ORIGINATOR:

RIDGE

THE COWYARDS
BLENHEIM PARK
OXFORD ROAD
WOODSTOCK, OX20 1GR

TEL: 01993 915000
WWW.RIDGE.CO.UK

CLIENT:

ENVIRONMENT AGENCY

IN ASSOCIATION WITH:

PROJECT:

GRAFTON LOCK
EXTERNAL WORKS

TITLE:

PLAN & CONSTRUCTION DETAILS

ENG/TECH:	CSE:	ICSE:	SCALE:	AS SHOWN	@	A1
TA	ACB	DP	STATUS ISSUE:	MAY 2024		

STATUS:

TENDER

"UNLESS ISSUED FOR CONSTRUCTION - WORKS AT CLIENT/CONTRACTORS RISK"

150 19650

PROJECT:	ORG:	ZONE:	LEVEL:	TYPE:	ROLE:	NUMBER:	REV:
5024313	RDG	XX	XX	DR	C	0001	P02

APPENDIX D

Drain & Able Drainage Survey

Remember Our Name to Unblock Your Drain



17th December 2023

Kathryn Forster BSc (Land Man.) MRICS
Senior Estates Surveyor
National Housing Lead, Estates
Environment Agency
Kings Meadow House
Kings Meadow Road
Reading RG1 8DQ

Dear Kathryn

**REFERENCE : CCTV DRAINAGE SURVEY
 GRAFTON LOCK HOUSE
 GRAFTON
 NEAR LECHLADE
 OX8 2RY**

With reference to the CCTV Drainage Survey undertaken at the above site on 12th December 2023. Please find herewith engineers report and marked up drawing/plan with CCTV footage uploaded and available via We Transfer.

Please do not hesitate to contact this office should you require additional information.

Yours sincerely

A handwritten signature in blue ink that reads "Kevin Andrews".

KEVIN ANDREWS
Drain & Able



124 Grovelands Road, Reading, RG30 2PD
Telephone: 0118 957 6244 Mobile: 0779 559 8207 Fax: 0118 956 7416
Email: info@drainandable.co.uk Web: www.drainandable.co.uk
VAT No. 880 8207 12



Page -1-

**SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY**

BEGIN SURVEY

Foul Water Inspection Chamber 1 Towards Gully Upstream

0.24 metres	Displaced joint
1.47 metres	Displaced joint
	Deviation left
2.10 metres	Gully

Foul Water Inspection Chamber 1 Towards Foul Water Inspection Chamber 2 Downstream

0.04 metres	Fracture
0.22 metres	Displaced joint
	Fracture
0.77 metres	Displaced joint
1.40 metres	Displaced joint
	Fracture
2.00 metres	Displaced joint
2.65 metres	Foul Water Inspection Chamber 2

Foul Water Inspection Chamber 2 Towards Toilet, Branch 1 Upstream

0.21 metres	Displaced joint
	Fracture
0.80 metres	Displaced joint
1.32 metres	Connection: Toilet

Foul Water Inspection Chamber 2 Towards Foul Water Inspection Chamber 3 Downstream

0.16 metres	Displaced joint
0.73 metres	Displaced joint
1.40 metres	Displaced joint
2.10 metres	Displaced joint
2.81 metres	Foul Water Inspection Chamber 3



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Page -2-

CCTV DRAINAGE SURVEY

**SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY**

Foul Water Inspection Chamber 3 Towards Gully, Branch 1 Upstream

0.20 metres	Displaced joint
0.68 metres	Displaced joint
1.35 metres	Displaced/Open joint
1.37 metres	Gully

Foul Water Inspection Chamber 3 Towards Foul Water Inspection Chamber 4 Downstream

0.00 metres	Fracture
0.51 metres	Displaced joint
1.00 metres	Displaced joint
1.76 metres	Displaced joint
2.41 metres	Displaced joint
3.08 metres	Displaced joint
3.69 metres	Open joint
	Fracture
4.27 metres	Foul Water Inspection Chamber 4

Foul Water Inspection Chamber 4 Towards Foul Water Inspection 5 Upstream

0.55 metres	Fracture
1.22 metres	Fracture
1.90 metres	Fracture
2.56 metres	Displaced joint
3.24 metres	Displaced joint
4.47 metres	Fracture
	Root ingress
4.84 metres	Foul Water Inspection Chamber 5





Page -3-

CCTV DRAINAGE SURVEY

**SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY**

Foul Water Inspection Chamber 4 Towards Foul Water Inspection Chamber 6 Downstream

0.48 metres	Displaced joint
1.15 metres	Displaced joint
	Fracture
1.62 metres	Fracture
2.14 metres	Foul Water Inspection Chamber 6

Tank Towards Foul Water Inspection Chamber 6 Upstream

0.52 metres	Displaced joint
0.69 metres	Water retention
1.86 metres	Foul Water Inspection Chamber 6 (interceptor)

Tank Towards Foul Water Inspection Chamber 7 Upstream

1.60 metres	Foul Water Inspection Chamber 7
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END OF SURVEY

Findings & Recommendations

- **Foul Water Inspection Chamber 1 Towards Gully Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joints are resulting in or causing any issues however their condition may deteriorate over a period of time.





Page -4-

CCTV DRAINAGE SURVEY

**SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY**

Findings & Recommendations cont'd....

- **Foul Water Inspection Chamber 1 Towards Foul Water Inspection Chamber 2 Downstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified fractures and displaced joints are resulting in or causing any issues however their condition may deteriorate over a period of time.

- **Foul Water Inspection Chamber 2 Towards Toilet, Branch 1 Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joints and fracture are resulting in or causing any issues however their condition may deteriorate over a period of time.

- **Foul Water Inspection Chamber 2 Towards Foul Water Inspection Chamber 3 Downstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joints are resulting in or causing any issues however their condition may deteriorate over a period of time.





Page -5-

CCTV DRAINAGE SURVEY

SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY

Findings & Recommendations cont'd....

- **Foul Water Inspection Chamber 3 Towards Gully, Branch 1 Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joints/open joint are resulting in or causing any issues however their condition may deteriorate over a period of time.

- **Foul Water Inspection Chamber 3 Towards Foul Water Inspection Chamber 4 Downstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified fractures and displaced joints/open joint are resulting in or causing any issues however their condition may deteriorate over a period of time.

- **Foul Water Inspection Chamber 4 Towards Foul Water Inspection 5 Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified fractures and displaced joints are resulting in or causing any issues however their condition may deteriorate over a period of time.



Drain & Able

CCTV DRAINAGE SURVEY

Page -6-

**SITE ADDRESS: GRAFTON LOCK HOUSE
GRAFTON
NEAR LECHLADE
OX8 2RY**

Findings & Recommendations cont'd....

- **Foul Water Inspection Chamber 4 Towards Foul Water Inspection Chamber 6 Downstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joints and fractures are resulting in or causing any issues however their condition may deteriorate over a period of time.

- **Tank Towards Foul Water Inspection Chamber 6 Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

At the time of the CCTV Drainage Survey being undertaken there was no evidence to suggest that the identified displaced joint is resulting in or causing any issues however it's condition may deteriorate over a period of time.

- **Tank Towards Foul Water Inspection Chamber 7 Upstream**

We can confirm that the pipe work/drainage at this location was found to be serviceable at the time of the CCTV Drainage Survey being undertaken.

- **Tanks**

We can confirm that the structure of the tanks were found to be in a sound condition at the time of the CCTV Drainage Survey being undertaken.

Kevin Andrews
Kevin Andrews
Drain & Able

CCTV Drainage Survey undertaken 12th December 2023



Partners: Kevin Andrews, Connor Andrews, Diane Andrews

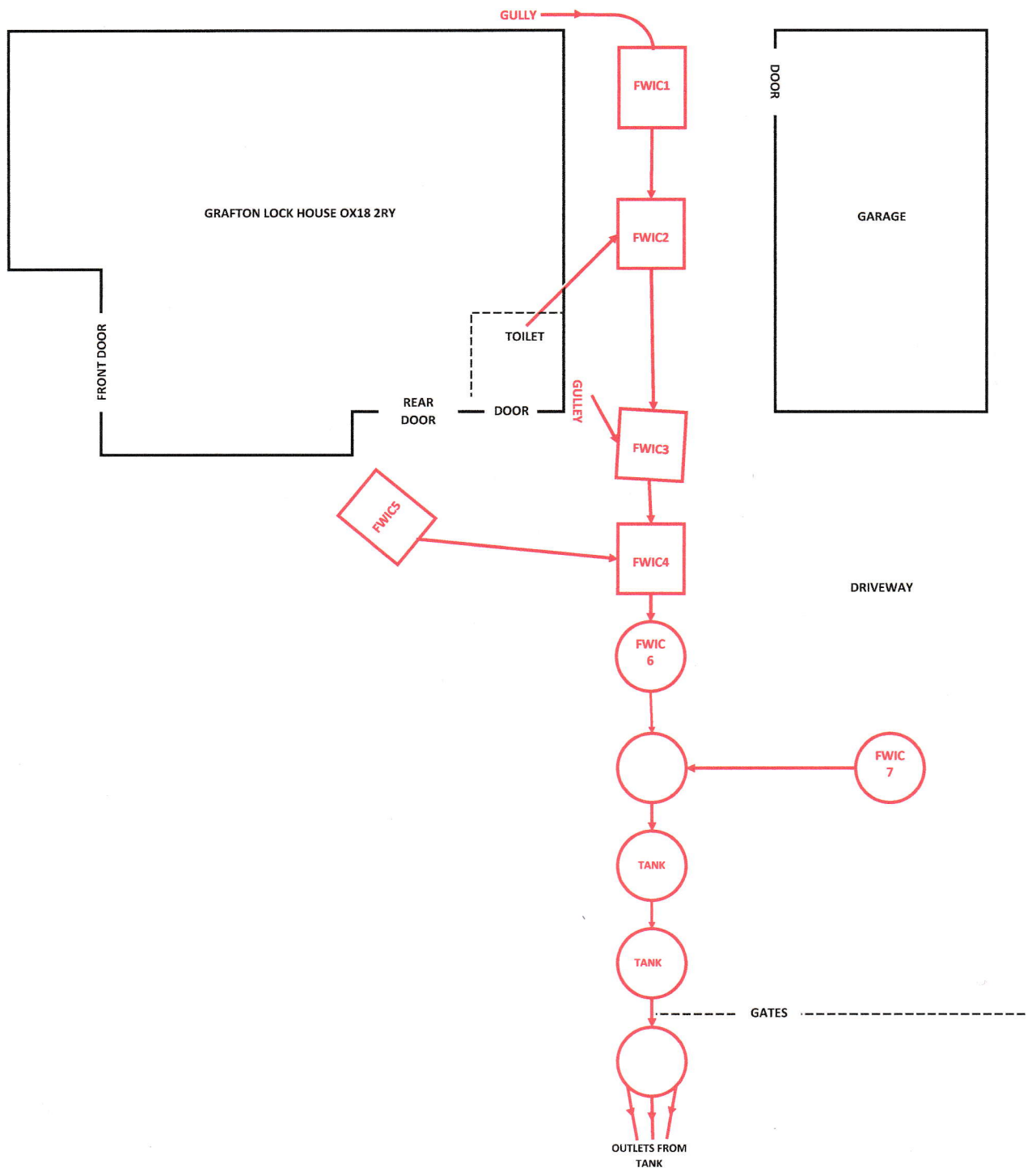
124 Grovelands Road, Reading, RG30 2PD

Telephone: 0118 957 6244 Mobile: 0779 559 8207

Email: info@drainandable.co.uk Web: www.drainandable.co.uk

VAT No. 880 8207 12

DRAINAGE PLAN: GRAFTON LOCK HOUSE, OX18 2RY



APPENDIX E

Environment Agency, Constructing a Better Environment
Safety, Health, Environment and Wellbeing, Code of Practice